



Board of Zoning Appeals

Thursday, August 28, 2025

6:00 PM

City Hall, 129 E Memorial Dr, Dallas GA 30132

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of a meeting or the facilities, are required to promptly contact the City's ADA Coordinator Brandon Rakestraw at 770.443.8110 ext. 1401 to allow the city to make reasonable accommodations for those persons.

AGENDA

CALL TO ORDER

MINUTES APPROVAL

1. Approval of the 9/16/2024 Meeting Minutes.

RECOGNITION OF VISITORS

REPORTS

OLD BUSINESS

NEW BUSINESS

- Election of Officers
3. Variance Application DSV-2025-01

TRG Paris Rd, LLC (Applicant/Titleholder), has applied and seeks Development Standard Variance(s) for property legally known by Tax Parcel ID No.(s) 148.2.2.019.0000, 148.2.2.030.0000, 148.2.2.035.0000, 147.1.1.023.0000, and 147.1.1.017.0000 located in Land Lot(s) 409, 456, and 481 in the 2nd and 3rd Section of Paulding County, located at 270 & 458 Paris Road, Dallas, GA 30132.

ADJOURNMENT



Board of Zoning Appeals - Public Hearing

Monday, September 16, 2024

5:00 PM

City Hall, 129 E Memorial Dr, Dallas GA 30132

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of a meeting or the facilities, are required to promptly contact the City's ADA Coordinator Brandon Rakestraw at 770.443.8110 ext. 1401 to allow the city to make reasonable accommodations for those persons.

MINUTES

CALL TO ORDER

Present
Brad Wood
Mike Cason
Jeff Cole

MINUTES APPROVAL

1. Motion to approve the Minutes from the May 13, 2024 meeting.

Motion made by Wood, Seconded by Cole.
Voting Yea: Cole, Cason, Wood

RECOGNITION OF VISITORS

2. None

REPORTS

3. None

OLD BUSINESS

4. None

NEW BUSINESS

5. Variance Application V-2024-07 Hancock Kitchen Designs, LLC to permit for three wall signs, whereas only one wall sign is permitted in the Corridor Overlay District. The site is located at 251 W Memorial Drive with Parcel Number 116.34.090.0000, in Land Lot(s) 276 in the 2nd District, Section 3 of Paulding County. The property is currently used as an indoor entertainment use and would convert into a food hall.

Josh McMillan spoke on behalf of the application. No one spoke in opposition.

Motion to approve Application V-2024-07 with the following conditions:

- Signs must meet the design and aesthetic standards of the Corridor Overlay Zone.
- The sign shall meet all requirements of the Historic Preservation Commission's Certificate of Appropriateness approval dated August 27th, 2024.
- The applicant must submit a finalized signage plan that integrates the three signs harmoniously into the building's overall architecture and the surrounding area.

Motion made by Wood, Seconded by Cason.

Voting Yea: Cason, Cole, Wood.

6. Variance Application V-2024-08 Paulding County Hospital Authority for four variances for minimum lot size, minimum lot frontage, and minimum lot width. The site is located at 600 W Memorial Drive with Parcel Number 135.3.1.075.0000, in Land Lot(s) 299 in the 2nd District, Section 3 of Paulding County. The property is currently used as a medical complex and a nursing center. The applicant is proposing to subdivide the property.

Kate Triplett spoke on behalf of the application. No one spoke in opposition.

Motion to approve Application V-2024-08 for the following variances;

1. Front Setback (Primary Street) Reduction

- **Zoning Requirement:** 35 feet
- **Variance Requested:** 25 feet for Tract 1A
- **Justification:** The existing configuration of the buildings on the site and the proposed subdivision necessitate this reduction to maintain existing functionality.

Motion to approve Front setback (Primary Street) Reduction.

Motion made by Wood, Seconded by Cason.

Voting Yea: Cole, Cason, Wood

2. Front Setback (Other Streets) Reduction

- **Zoning Requirement:** 30 feet
- **Variance Requested:** 0 feet for Tract 1B
- **Justification:** The parcel created by the subdivision will have minimal frontage on public streets, necessitating a reduction to 0 feet along secondary streets.

Motion to approve Front Setback (Other Streets) Reduction.

Motion made by Wood, Seconded by Cole.

Voting Yea: Cole, Cason, Wood

Voting Yea: Cole, Cason, Wood

3. Minimum Lot Width Reduction

- **Zoning Requirement:** 65 feet
- **Variance Requested:** 25 feet for both Tract 1A and Tract 1B

- **Justification:** The proposed lot widths do not meet the minimum required by R-2 zoning, but the existing site conditions and the need for separate ownership for Wellstar and Outcome Nursing support this variance.

Motion to approve Minimum Lot Width Reduction.

Motion made by Wood, Seconded by Cole.

Voting Yea: Cole, Cason, Wood

4. Side and Rear Setback Reductions

- **Zoning Requirement (Side):** 10 feet
- **Variance Requested (Side):** 0 feet for Tract 1B
- **Zoning Requirement (Rear):** 20 feet
- **Variance Requested (Rear):** 0 feet for both Tract 1A and Tract 1B
- **Justification:** The buildings on the property are located in close proximity to each other, and the proposed property lines follow the existing building edges. These setbacks would be impractical given the current layout of the site.

Motion to approve Side and Rear Setback Reductions.

Motion made by Wood, Seconded by Cason.

Voting Yea: Cole, Cason, Wood

ADJOURNMENT

Motion to adjourn.

Motion approved by Wood, Seconded by Cole.

Voting Yea: Cole, Cason, Wood

Date

Secretary

CITY OF DALLAS, GEORGIA

APPLICATION FOR VARIANCE

BOARD OF APPEALS

NAME OF PROPERTY OWNER:

TRG Paris Rd, LLC

ADDRESS OF PROPERTY OWNER:

7100 Peachtree Dunwoody Rd, Atlanta, GA 30328

LOCATION OF PROPERTY:

Paris Rd , Dallas, GA

COUNTY TAX MAP NUMBER: 148.2.2.030.000; 148.2.2.035.0000; 147.1.1.023.0000; 147.1.1.017.0000

148.2.2.019.0000

INTENDED USE OF PROPERTY: Multi-Family

ZONING DISTRICT AND SETBACKS: MF-1

CHECKLIST (SUBMIT WITH APPLICATION AND FEE)

- ☒ LEGAL DESCRIPTION OF PROPERTY (COPY OF DEED)
- ☒ PLAT SHOWING DIMENSIONS, ACREAGE AND LOCATION OF TRACT(S) PREPARED TO SCALE (6 COPIES)
- ☒ EXACT DESCRIPTION OF VARIANCE(S) APPLIED FOR:
- Sec.7.10, Table 4.4 - Revise Max Building Height of Principal from 45 ft to a max height of 60 ft.
- Sec 7.17 e) - Revise Max Building Length from 192 ft to the length s shown on the plot plan.
- but not to exceed 295 ft.

6/23/25

DATE

SIGNATURE OF OWNER OR AGENT

LEGAL NOTICE

I, TRG Paris Rd, LLC HAVE APPLIED FOR A VARIANCE(S) TO
(OWNER OR AGENT)

THE CITY OF DALLAS, GEORGIA AS IT APPLIES TO MY PROPERTY WHICH IS WITHIN A PORTION
OF LAND LOT(S) 409,456,481 IN THE 2nd DISTRICT AND 3rd SECTION OF PAULDING
COUNTY, LOCATED AT Paris Road & Hwy 278.

SAID REQUEST FOR A VARIANCE IS SUBJECT TO A PUBLIC HEARING TO BE HELD AT THE
DALLAS CITY COUNCIL ROOM, **129 EAST MEMORIAL DRIVE, DALLAS, GEORGIA**. SAID
PUBLIC HEARING WILL BE HELD ON August 28, 2025 at 6:00pm.

REQUESTED THIS 23rd DAY OF June, 2025.



SIGNATURE

FOR OFFICE USE:

LEGAL AD NOTICE WILL RUN WEEK OF 8/7/25; 8/14/25; 8/21/25 AND WEEK OF 8/28/25

SENT TO PAPER FOR PUBLICATION August 1, 2025

COMMENTS:

DISPOSITION

A PUBLIC HEARING WAS HELD ON AN APPLICATION FOR A VARIANCE REQUESTED BY
 TRG Paris Rd, LLC

AT THE CITY OF DALLAS COUNCIL ROOM.

SAID HEARING WAS HELD ON August 28, 2025 at 6:00pm.

THE BOARD OF APPEALS OF THE CITY OF DALLAS, GA. HAVE INDICATED BY A VOTE OF

_____ TO _____ THAT THE ABOVE APPLICATION BE:

☐ APPROVED

☐ DISAPPROVED

PLEASE INDICATE BELOW ANY COMMENTS, REASONS FOR DISAPPROVAL, OPPOSITION TO THE REQUEST AND / OR ANY CONDITIONS THAT SHOULD BE MADE A PART OF THE PUBLIC RECORD.

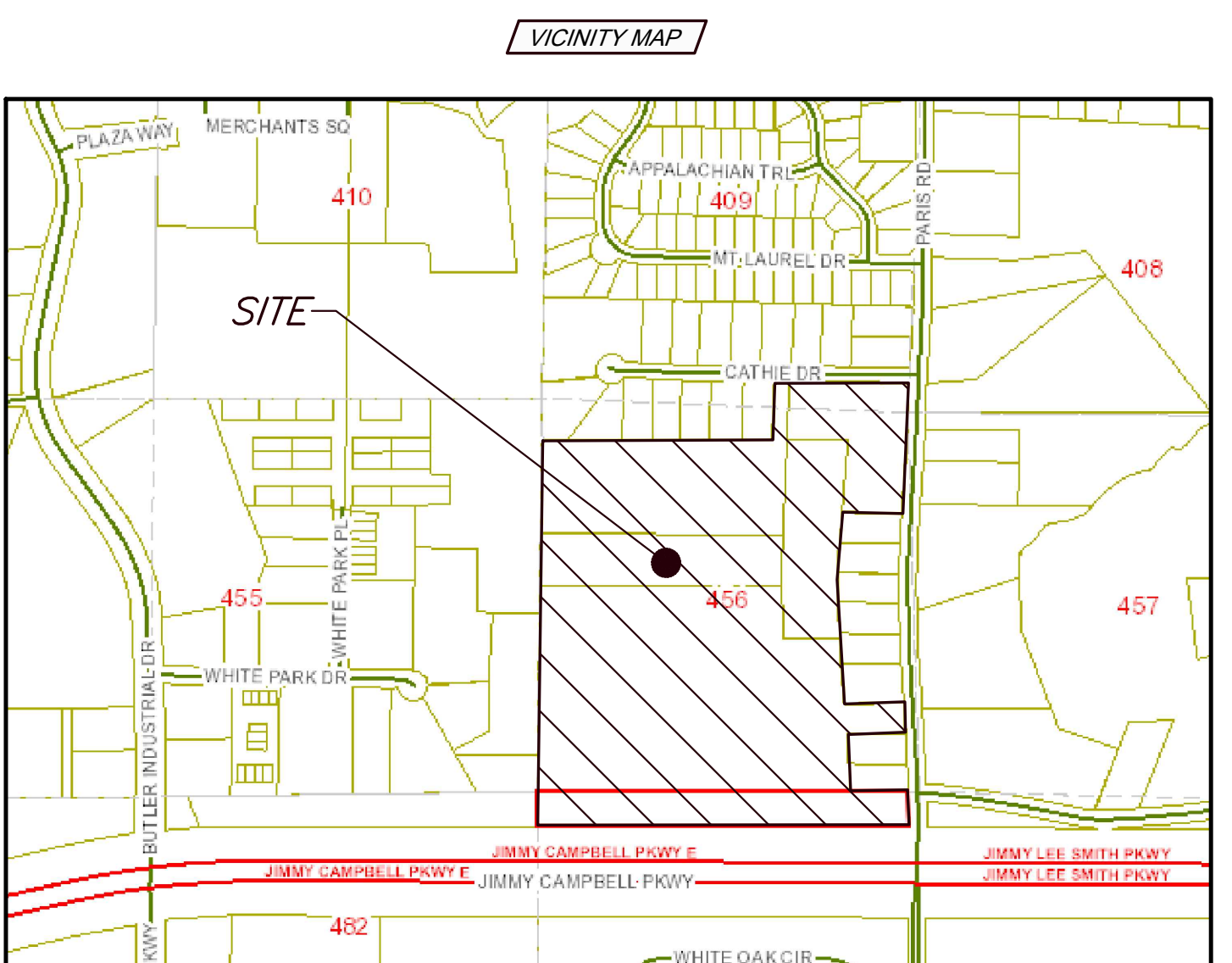
1854
 THE CITY OF
 DALLAS
 GEORGIA

DATE _____

SECRETARY TO THE BOARD OF APPEALS _____

Date	09/25/24
Revision	1
No	1
Field Date	08/30/2024
Plot Date	09/17/2024
Scale	1"=60'

ALTA/NSPS LAND TITLE SURVEY
FOR
THE RESIDENTIAL GROUP
LAND LOTS 409, 456-481 2nd DISTRICT, 3rd SECTION
CITY OF DALLAS, PAULDING COUNTY, GEORGIA



EXCEPTIONS IN TITLE COMMITMENT
PARCEL A
FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 2-43692(A)
COMMITMENT DATE: JULY 1, 2024

- Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records. (Does Not Affect Subject Property As Shown Hereon, Current Right of Way of Paris Road)
- Right of Way Deed from B. Russell Paris, Cathie T. Serrano, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records. (Does Not Affect Subject Property As Shown Hereon, Current Right of Way of Paris Road)
- Right of Way Easement from Terry E. Tibbitts and Susan B. Tibbitts to Graystone Power Corporation, an electric membership corporation, dated April 6, 1996, filed for record March 17, 1997 at 12:25 p.m., recorded in Deed Book 576, Page 47, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
- All those matters as disclosed by that certain plat recorded in Plat Book 3, Page 146, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
- All those matters as disclosed by that certain plat recorded in Plat Book 27, Page 1, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
- All those matters as disclosed by that certain plat recorded in Plat Book 21, Page 57, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
- All those matters as disclosed by that certain plat recorded in Plat Book 42, Page 112, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
- All those matters as disclosed by that certain plat recorded in Plat Book 54, Page 131, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
- All those matters as disclosed by that certain plat recorded in Plat Book 54, Page 137-B, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
- All those matters as disclosed by that certain plat recorded in Plat Book 56, Page 124, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)

- PARCEL B
FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 2-43692(B)
COMMITMENT DATE: JULY 3, 2024
- Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records. (Does Not Affect Subject Property As Shown Hereon, Current Right of Way of Paris Road)
 - Right of Way Deed from B. Russell Paris, Cathie T. Serrano, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records. (Does Not Affect Subject Property As Shown Hereon, Current Right of Way of Paris Road)
 - All those matters as disclosed by that certain plat recorded in Plat Book 3, Page 146, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
 - All those matters as disclosed by that certain plat recorded in Plat Book 21, Page 57, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
 - All those matters as disclosed by that certain plat recorded in Plat Book 36, Page 84-A, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
 - All those matters as disclosed by that certain plat recorded in Plat Book 39, Page 11, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
 - All those matters as disclosed by that certain plat recorded in Plat Book 45, Page 184, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)
 - All those matters as disclosed by that certain plat recorded in Plat Book 42, Page 124, aforesaid Records. (Does Affect Subject Property; No Plottable Matters)

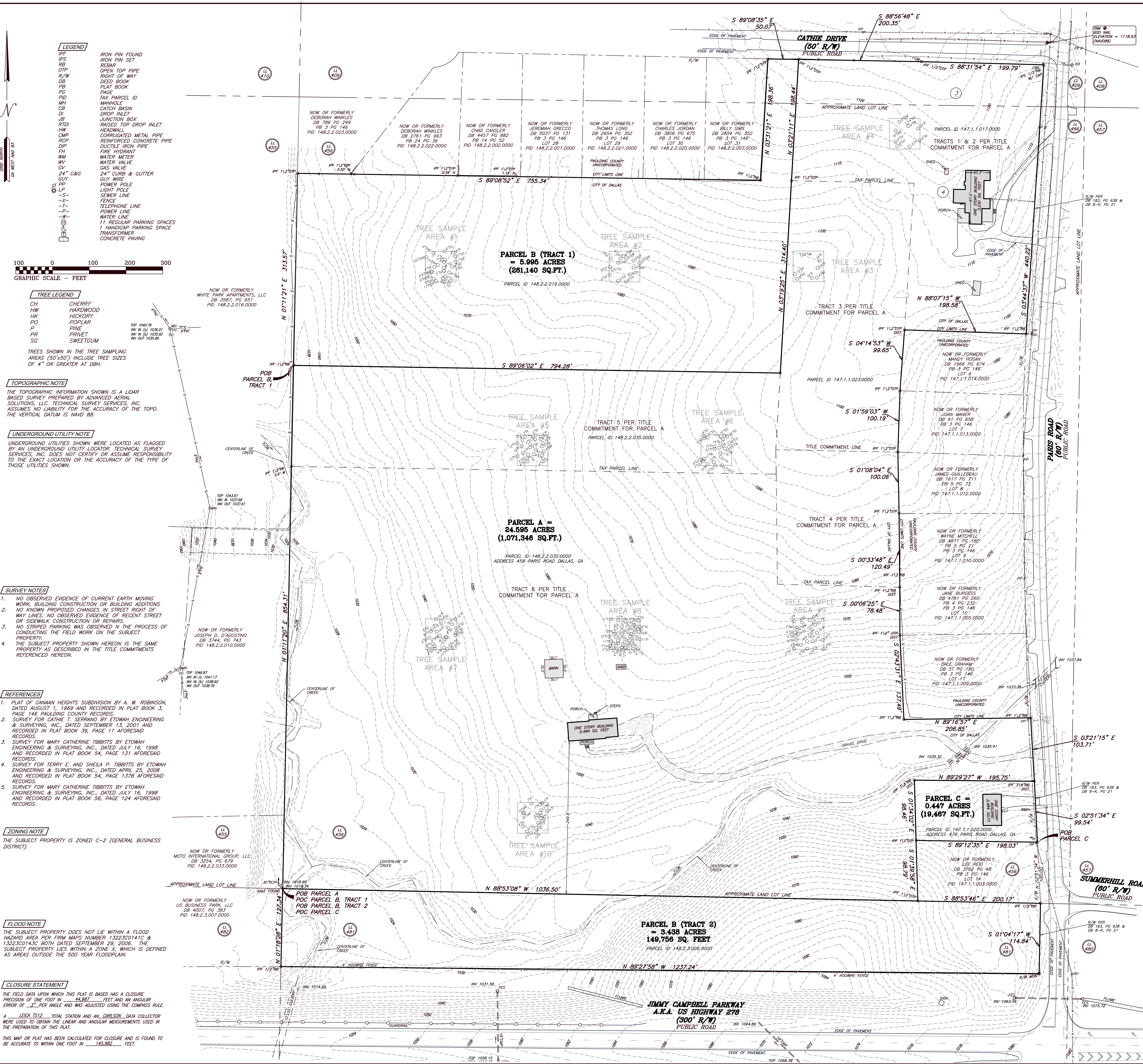
- PARCEL C
FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 2-43692(C)
COMMITMENT DATE: JULY 3, 2024
- Right of Way Deed from J. E. Tibbitts, C. F. Wilbanks, Hugh Graham, L. M. Tibbitts, et al to Paulding County, a political subdivision of the State of Georgia, filed for record October 5, 1977 at 11:50 a.m., recorded in Deed Book 8-K, Page 21, Records of Paulding County, Georgia. (Does Not Affect Subject Property As Shown Hereon, Current Right of Way of Paris Road)
 - Right of Way Deed from B. Russell Paris, Cathie T. Serrano, Terry E. Tibbitts, Susan B. Tibbitts, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records. (Does Not Affect Subject Property As Shown Hereon, Current Right of Way of Paris Road)
 - All those matters as disclosed by that certain plat recorded in Plat Book 3, Page 146, aforesaid Records. (No Plottable Matters)
 - All those matters as disclosed by that certain plat recorded in Plat Book 42, Page 62-A, aforesaid Records. (No Plottable Matters)

LEGAL DESCRIPTION
TO BE PREPARED AFTER TITLE REVIEW

SURVEYOR'S CERTIFICATION
TO THE RESIDENTIAL GROUP, LLC & FIRST AMERICAN TITLE INSURANCE COMPANY:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 3, 4, 5, 6(a), 7(a), 7(b)(1), 8, 9, 11(a), 13, 16, 17, & 19, of Table A thereof. The fieldwork was completed on August 30, 2024.



September 17, 2024
Date of Plat



- LEGEND**
- IRON PIN FOUND
 - IRON PIN SET
 - REBAR
 - OPEN TOP PIPE
 - RIGHT OF WAY
 - DEED BOOK
 - PLAT BOOK
 - PAGE
 - TAX PARCEL ID
 - MANHOLE
 - CATCH BASIN
 - DROP INLET
 - JUNCTION BOX
 - RAISED TOP DROP INLET
 - HEADWALL
 - CORROGATED METAL PIPE
 - REINFORCED CONCRETE PIPE
 - DUCTILE IRON PIPE
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - GAS VALVE
 - 24" CURB & GUTTER
 - POWER POLE
 - LIGHT POLE
 - SEWER LINE
 - FENCE
 - TELEPHONE LINE
 - POWER LINE
 - WATER LINE
 - 11 REGULAR PARKING SPACES
 - 11 HANDICAP PARKING SPACE
 - TRANSFORMER
 - CONCRETE PAVING



- TREE LEGEND**
- CH CHERRY
 - HW HARDWOOD
 - HK HICKORY
 - PO POPLAR
 - PI PINO
 - PR PRIVET
 - SG SWEETGUM
- TREES SHOWN IN THE TREE SAMPLING AREAS (50'x50') INCLUDE TREE SIZES OF 4" OR GREATER AT DBH.

TOPOGRAPHIC NOTE
THE TOPOGRAPHIC INFORMATION SHOWN IS A LIDAR BASED SURVEY PREPARED BY ADVANCED AERIAL SOLUTIONS, LLC. TECHNICAL SURVEY SERVICES, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF THE TOPO. THE VERTICAL DATUM IS NAVD 88.

UNDERGROUND UTILITY NOTE
UNDERGROUND UTILITIES SHOWN WERE LOCATED AS FLAGGED BY AN UNDERGROUND UTILITY LOCATOR. TECHNICAL SURVEY SERVICES, INC. DOES NOT CERTIFY OR ASSUME RESPONSIBILITY TO THE EXACT LOCATION OR THE ACCURACY OF THE TYPE OF THOSE UTILITIES SHOWN.

- SURVEY NOTES**
- NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
 - NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - NO STRIPED PARKING WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK ON THE SUBJECT PROPERTY.
 - THE SUBJECT PROPERTY SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN THE TITLE COMMITMENTS REFERENCED HEREON.

- REFERENCES**
- PLAT OF CAYMAN HEIGHTS SUBDIVISION BY A. W. ROBINSON, DATED AUGUST 1, 1969 AND RECORDED IN PLAT BOOK 3, PAGE 146 PAULDING COUNTY RECORDS.
 - SURVEY FOR CATIE T. SERRANO BY ETOWAH ENGINEERING & SURVEYING, INC., DATED SEPTEMBER 13, 2001 AND RECORDED IN PLAT BOOK 39, PAGE 11 AFORESAID RECORDS.
 - SURVEY FOR MARY CATHERINE TIBBITTS BY ETOWAH ENGINEERING & SURVEYING, INC., DATED JULY 16, 1998 AND RECORDED IN PLAT BOOK 54, PAGE 131 AFORESAID RECORDS.
 - SURVEY FOR TERRY E. AND SHEILA P. TIBBITTS BY ETOWAH ENGINEERING & SURVEYING, INC., DATED APRIL 25, 2008 AND RECORDED IN PLAT BOOK 54, PAGE 137B AFORESAID RECORDS.
 - SURVEY FOR MARY CATHERINE TIBBITTS BY ETOWAH ENGINEERING & SURVEYING, INC., DATED JULY 16, 1998 AND RECORDED IN PLAT BOOK 56, PAGE 124 AFORESAID RECORDS.

ZONING NOTE
THE SUBJECT PROPERTY IS ZONED C-2 (GENERAL BUSINESS DISTRICT).

FLOOD NOTE
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM MAPS NUMBER 1322300141C & 1322300143C BOTH DATED SEPTEMBER 29, 2006. THE SUBJECT PROPERTY LIES WITHIN A ZONE X, WHICH IS DEFINED AS AREAS OUTSIDE THE 500 YEAR FLOODPLAIN.

CLOSURE STATEMENT
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 44,987 FEET AND AN ANGULAR ERROR OF 1" PER ANGLE AND WAS ADJUSTED USING THE COMPASS RULE.
A LEICA TS12 TOTAL STATION AND AN CARLSON DATA COLLECTOR WERE USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 145,982 FEET.

DATE: 12/19/2024

TIME: 10:37 AM

DEED BOOK: 5181

PAGE: 573 - 576

FILING FEES: \$25.00

TRANSFER TAX: \$400.00

PARTICIPANT ID: 6405611605

PT61: 1102024007619

RECORDED BY: LJ

CLERK: Sheila Butler

Paulding County, GA

AFTER RECORDING RETURN TO:

Ron Ben-Moshe, Esq.

McClure & Kornheiser, LLC

6400 Powers Ferry Road, NW, Suite 150

Atlanta, Georgia 30339

Tax Parcel Nos.: 147110170000 and 147110230000

Paulding County, Georgia

After recording return to:

Calloway Title and Escrow, LLC

2100 Riveredge Parkway, Suite 1025

Atlanta, GA 30328

2-43692 LIMITED WARRANTY DEED

THIS INDENTURE, dated and effective as of December 18, 2024, between **TERRY E. TIBBITTS**, and **SHEILA P. TIBBITTS**, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP (collectively "Grantor") and **TRG PARIS ROAD, LLC**, a Georgia limited liability company ("Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits;

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee, all that tract or parcel of land lying and being in Paulding County, Georgia, the same being more particularly described on Exhibit "A" attached hereto and by reference made a part hereof, TOGETHER WITH all and singular Grantor's right, title and interest in and to the rights, members and appurtenances thereto, to the same being, belonging, or in anywise appertaining (hereinafter collectively referred to as the "Premises"), SUBJECT TO and only to the matters set forth on Exhibit "B" attached hereto and by reference made a part hereof (hereinafter collectively referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE.

AND GRANTOR will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

[signature page follows]

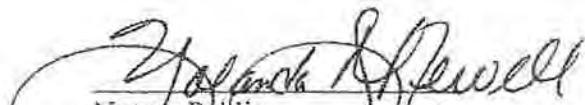
IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

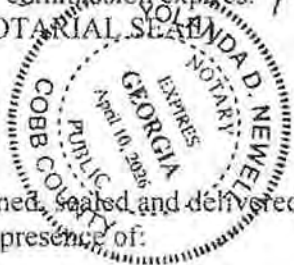
GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

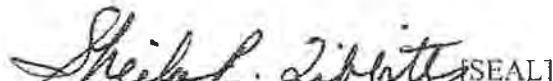
 [SEAL]
TERRY E. TIBBITTS


Notary Public
My commission expires: 4-10-26
[NOTARIAL SEAL]



Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
SHEILA P. TIBBITTS


Notary Public
My commission expires: 4-10-26
[NOTARIAL SEAL]



EXHIBIT "A"
LEGAL DESCRIPTION

TRACT 1:

ALL THAT TRACT or parcel of land lying and being in Land Lots 409 and 456 of the 2nd District, 3rd District of Paulding County, Georgia, being Lots 3, 4 and 5 of Canaan Heights Subdivision, as more particularly depicted on a plat recorded in Plat Book 3, Page 146, Records of Paulding County, Georgia, which plat is incorporated herein by reference hereto.

TRACT 2:

ALL THAT TRACT or parcel of land lying and being in Land Lots 409 and 456 of the 2nd District, 3rd District of Paulding County, Georgia, being Lots 32 and 33, Canaan Heights Subdivision, as more particularly depicted on a plat recorded in Plat Book 3, Page 146, aforesaid Records, which plat is incorporated herein by reference hereto.

TRACT 3:

All that tract or parcel of land lying and being in Land Lot 456 of the 2nd District and 3rd Section of Paulding County, Georgia, and being more fully and particularly described as follows: BEGIN at the southwest corner of Lot 32, Canaan Heights Subdivision as shown on plat of survey recorded at Plat Book 3, Page 146 of the Paulding County Plat Records; thence in an easterly direction along the south line of Lots 32 and 33 of Canaan Heights subdivision for a distance of 200 feet to a point; thence in a southerly direction along the west line of Lots 4,5,6, and 7 of Canaan Heights Subdivision for a distance of 440 feet to a point; thence in a westerly direction parallel to the south line of lots 32 and 33 of said subdivision for a distance of 200 feet to a point; thence in a northerly direction parallel to the west line of Lots 4,5,6, and 7 of said Subdivision for a distance of 440 feet to the true point of beginning.

TRACT 4:

All that tract or parcel of land lying and being in Land Lot 456 of the 2nd District and 3rd Section of Paulding County, Georgia, and being more fully and particularly described as follows: BEGIN at the southwest corner of Lot 7 of Canaan Heights Subdivision, which is also the northwest corner of Lot 8 of Canaan Heights Subdivision, as shown on plat of survey recorded at Plat Book 3 page 146 of the Paulding County Plat Records; thence in a westerly direction along the south property line of that certain parcel of land now or formerly owned by Terry Tibbitts and Susan Tibbitts for a distance of 200 feet to a point; thence in a southerly direction parallel to the west property line of Lots 8 and 9 of Canaan Heights Subdivision for a distance of 220 feet to a point; thence in an easterly direction parallel to the south property line of said parcel now or formerly owned by Terry Tibbitts and Susan Tibbitts for a distance of 200 feet to a point located at the west line of Lot 10 of Canaan Heights Subdivision; thence in a northerly direction along the west line of Lots 8,9, and 10 of Canaan Heights Subdivision for a distance of 220 feet, to the point of beginning.

EXHIBIT "B"**EXCEPTIONS**

1. All taxes for the year 2025 and subsequent years, not yet due and payable.
2. Drainage rights as contained in that certain Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, filed for record October 5, 1977 at 11:50 a.m., recorded in Deed Book 8-K, Page 21, Records of Paulding County, Georgia.
3. Drainage rights as contained in that certain Right of Way Deed from B. Russell Paris, Cathie T. Serrano, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records.
4. Right of Way Easement from Terry E. Tibbetts and Susan B. Tibbetts to Greystone Power Corporation, an electric membership corporation, dated April 6, 1996, filed for record March 17, 1997 at 12:25 p.m., recorded in Deed Book 576, Page 47, aforesaid Records.
5. Those matters as disclosed by that certain survey entitled "ALTA/NSPS Land Title Survey To TRG Paris Road, LLC, a Georgia limited liability company; Calloway Title and Escrow, LLC & First American Title Insurance Company", prepared by Technical Survey Services, Inc., bearing the seal and certification of Aubrey J. Akin, Georgia Registered Land Surveyor No. 3138, dated September 17, 2024, last revised December 4, 2024, being designated as Job No. 2024-1126, as follows:
 - (1) Power line crossing the easterly boundary line of subject property;
 - (2) Creek crossing the easterly, southerly and westerly boundary lines of subject property and traversing the southerly portion of subject property;
 - (3) Utility line crossing the easterly boundary line of subject property; and
 - (4) Fences crossing the northerly, westerly and southern boundary lines of subject property.

DATE: 12/19/2024

TIME: 10:37 AM

DEED BOOK: 5181

PAGE: 577 - 580

FILING FEES: \$25.00

TRANSFER TAX: \$682.30

PARTICIPANT ID: 6405611605

PT61: 1102024007618

RECORDED BY: LJ

CLERK: Sheila Butler

Paulding County, GA

AFTER RECORDING RETURN TO:

Ron Ben-Moshe, Esq.

McClure & Kornheiser, LLC

6400 Powers Ferry Road, NW, Suite 150

Atlanta, Georgia 30339

Tax Parcel No.: 148220350000

Paulding County, Georgia

After recording return to:

Calloway Title and Escrow, LLC

2100 Riveredge Parkway, Suite 1025

Atlanta, GA 30328

2-43692

LIMITED WARRANTY DEED

THIS INDENTURE, dated and effective as of December 18, 2024, between **TERRY E. TIBBITTS** and **SHEILA P. TIBBITTS** (collectively "Grantor") and **TRG PARIS ROAD, LLC**, a Georgia limited liability company ("Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits;

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee, all that tract or parcel of land lying and being in Paulding County, Georgia, the same being more particularly described on Exhibit "A" attached hereto and by reference made a part hereof, TOGETHER WITH all and singular Grantor's right, title and interest in and to the rights, members and appurtenances thereto, to the same being, belonging, or in anywise appertaining (hereinafter collectively referred to as the "Premises"), SUBJECT TO and only to the matters set forth on Exhibit "B" attached hereto and by reference made a part hereof (hereinafter collectively referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE.

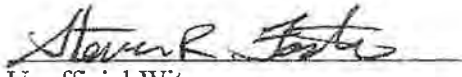
AND GRANTOR will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

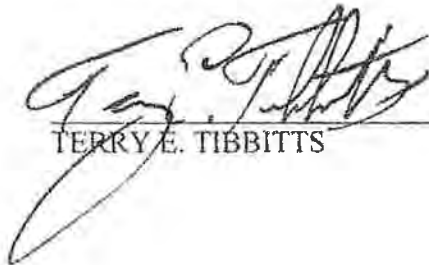
[signature page follows]

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

GRANTOR:

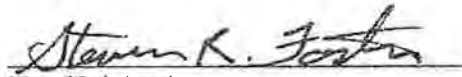
Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
TERRY E. TIBBITTS


Notary Public
My commission expires: 4-10-26
[NOTARIAL SEAL]

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
SHEILA P. TIBBITTS


Notary Public
My commission expires: 4-10-26
[NOTARIAL SEAL]



EXHIBIT "A"
LEGAL DESCRIPTION

TRACT 5:

All that tract or parcel of land lying and being in Land Lot 456 of the Second District, Third Section, Paulding County, Georgia. Said tract of land being more particularly described as follows;

Commencing at an Iron Pin Found (axle) lying at the common corner of Land Lots 455, 456, 481 and 482 of the aforesaid District, Section and County; thence running along the West line of Land Lot 456 proceed North 00 Degrees 40 Minutes 48 Seconds West for a distance of 688.73 feet to an Iron Pin Set (1/2 inch rebar), said point being the TRUE POINT OF BEGINNING; thence continuing along said Land Lot Line proceed North 00 Degrees 40 Minutes 48 Seconds West a distance of 165.09 feet to an Iron Pin Found (1/2 inch rebar); thence leaving said Land Lot Line proceed North 88 Degrees 58 Minutes 08 Seconds East a distance of 794.43 feet to an Iron Pin Found (1/2 inch rebar); thence proceed South 01 Degrees 28 Minutes 53 Seconds West a distance of 125.28 feet to Iron Pin Found (1/2 inch rebar); thence proceed South 02 Degrees 50 Minutes 42 Seconds East a distance of 39.95 feet to Iron Pin Set (1/2 inch rebar); thence proceed South 88 Degrees 58 Minutes 08 Seconds West a distance of 791.21 feet to the TRUE POINT OF BEGINNING.

EXHIBIT "B"**EXCEPTIONS**

1. All taxes for the year 2025 and subsequent years, not yet due and payable.
2. Drainage rights as contained in that certain Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, filed for record October 5, 1977 at 11:50 a.m., recorded in Deed Book 8-K, Page 21, Records of Paulding County, Georgia.
3. Drainage rights as contained in that certain Right of Way Deed from B. Russell Paris, Cathie T. Serrano, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records.
4. Right of Way Easement from Terry E. Tibbetts and Susan B. Tibbetts to Greystone Power Corporation, an electric membership corporation, dated April 6, 1996, filed for record March 17, 1997 at 12:25 p.m., recorded in Deed Book 576, Page 47, aforesaid Records.
5. Those matters as disclosed by that certain survey entitled "ALTA/NSPS Land Title Survey To TRG Paris Road, LLC, a Georgia limited liability company; Calloway Title and Escrow, LLC & First American Title Insurance Company", prepared by Technical Survey Services, Inc., bearing the seal and certification of Aubrey J. Akin, Georgia Registered Land Surveyor No. 3138, dated September 17, 2024, last revised December 4, 2024, being designated as Job No. 2024-1126, as follows:
 - (1) Power line crossing the easterly boundary line of subject property;
 - (2) Creek crossing the easterly, southerly and westerly boundary lines of subject property and traversing the southerly portion of subject property;
 - (3) Utility line crossing the easterly boundary line of subject property; and
 - (4) Fences crossing the northerly, westerly and southern boundary lines of subject property.

DATE: 12/19/2024

TIME: 10:37 AM

DEED BOOK: 5181

PAGE: 581 - 591

FILING FEES: \$25.00

TRANSFER TAX: \$1,892.00

PARTICIPANT ID: 6405611605

PT61: 1102024007620

RECORDED BY: LJ

CLERK: Sheila Butler

Paulding County, GA

AFTER RECORDING RETURN TO:

Ron Ben-Moshe, Esq.

McClure & Kornheiser, LLC

6400 Powers Ferry Road, NW, Suite 150

Atlanta, Georgia 30339

Tax Parcel No.: 148220300000

Paulding County, Georgia

After recording return to:

Calloway Title and Escrow, LLC

2100 Riveredge Parkway, Suite 1025

Atlanta, GA 30328

LIMITED WARRANTY DEED

2-43692

THIS INDENTURE, dated and effective as of December 1st, 2024, between **TERRY E. TIBBITTS, AS TO AN UNDIVIDED TWENTY PERCENT (20%) INTEREST, VICKIE T. SMITH, AS TO AN UNDIVIDED TWENTY PERCENT (20%) INTEREST, JILL T. MARLOW, AS TO AN UNDIVIDED TWENTY PERCENT (20%) INTEREST, CATHIE T. SERRANO AKA CATHIE T. RINER, AS TO AN UNDIVIDED TWENTY PERCENT (20%) INTEREST, MOLLIE MARLOW-BOWEN, AS TO AN UNDIVIDED FIVE PERCENT (5%) INTEREST, BLAKE E. TIBBITTS, AS TO AN UNDIVIDED FIVE PERCENT (5%) INTEREST, MEGAN T. CHERRY, AS TO AN UNDIVIDED FIVE PERCENT (5%) INTEREST, AND ALLYSON V. SNYDER, AS TO AN UNDIVIDED FIVE PERCENT (5%) INTEREST, AS TENANTS IN COMMON** (collectively "Grantor") and **TRG PARIS ROAD, LLC**, a Georgia limited liability company ("Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits;

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee, all that tract or parcel of land lying and being in Paulding County, Georgia, the same being more particularly described on Exhibit "A" attached hereto and by reference made a part hereof, TOGETHER WITH all and singular Grantor's right, title and interest in and to the rights, members and appurtenances thereto, to the same being, belonging, or in anywise appertaining (hereinafter collectively referred to as the "Premises"), SUBJECT TO and only to the matters set forth on Exhibit "B" attached hereto and by reference made a part hereof (hereinafter collectively referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE.

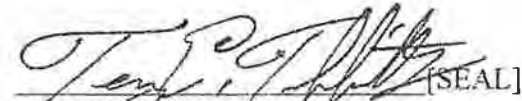
AND GRANTOR will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
TERRY F. TIBBITTS

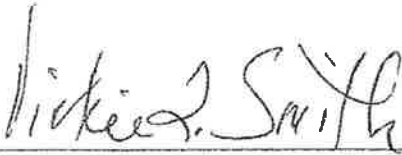

Notary Public
My commission expires 4-10-24


[SIGNATURES CONTINUED ON FOLLOWING PAGES]

GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness


VICKIE T. SMITH [SEAL]

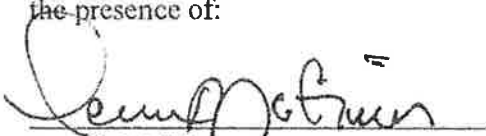

Notary Public
My commission expires: 10-20-2026

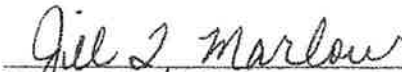
[NOTARIAL SEAL]



GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
JILL T. MARLOW


Notary Public
My commission expires:

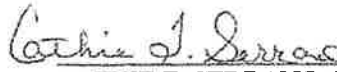
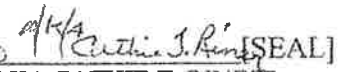
[NOTARIAL SEAL]



GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

  [SEAL]
CATHIE T. SERRANO AKA CATHIE T. RINER

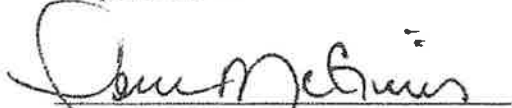

Notary Public
My commission expires: 10-20-2026

[NOTARIAL SEAL]



GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
MOLLIE MARLOW-BOWEN


Notary Public
My commission expires:

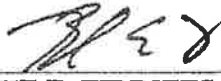
[NOTARIAL SEAL]



GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
BLAKE E. TIBBITTS

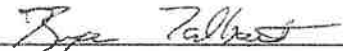

Notary Public
My commission expires:

[NOTARIAL SEAL]

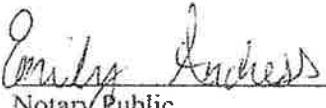


GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
MEGAN T. CHERRY


Notary Public
My commission expires:

[NOTARIAL SEAL]



GRANTOR:

Signed, sealed and delivered in
the presence of:



Unofficial Witness

 [SEAL]

ALLYSON V. SNYDER



Notary Public
My commission expires

[NOTARIAL SEAL]

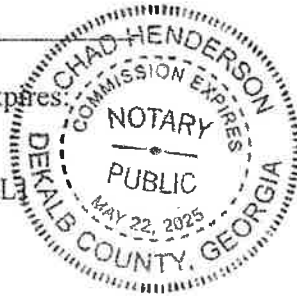


EXHIBIT "A"
LEGAL DESCRIPTION

ALL THAT TRACT or parcel of land lying and being in Land Lot 456 of the 2nd District, 3rd Section of Paulding County, Georgia, being Lot 12 of Canaan Heights Subdivision, said tract of land contains 0.45 acres more or less, as more particularly depicted on a plat recorded in Plat Book 3, Page 146, Records of Paulding County, Georgia, which plat is incorporated herein by reference hereto.

AND

All that tract or parcel of land lying and being in the 2nd District and 3rd Section of Paulding County, Georgia, and being a portion of Land Lot 456, and being more fully and particularly described as follows:

Commencing at an iron pin (axle) lying at the common corner of Land Lots 455, 456, 481, 482 of the aforesaid District, Section, and County, said point being the TRUE POINT OF BEGINNING; proceed along the West line of Lot 456 North 00 Degrees 40 Minutes 48 Seconds West a distance of 688.73 feet to an iron pin found; thence proceed North 88 Degrees 58 Minutes 08 Seconds East a distance of 791.21 feet to an iron pin found; thence proceed South 02 Degrees 45 Minutes 18 Seconds East a distance of 180.05 feet to an iron pin found; thence proceed North 89 Degrees 22 Minutes 03 Seconds East a distance of 200 feet to an iron pin found located on the West line of Lot 10 of Canaan Heights Subdivision, as per plat recorded in Plat Book 3, Page 146 of the Paulding County Plat Records, said plat being incorporated herein by reference thereto; thence proceed along the West line of Lot 10 of Canaan Heights Subdivision South 01 Degrees 41 Minutes 48 Seconds East a distance of 78.01 feet to an iron pin found; thence proceed along the West line of Lots 11 and 12 of Canaan Heights Subdivision South 07 Degrees 45 Minutes 26 Seconds East a distance of 236.11 feet to an iron pin found; thence proceed along the West line of lots 13 and 14 of Canaan Heights Subdivision South 03 Degrees 22 Minutes 20 Seconds East a distance of 200 feet to an iron pin found at the Southwest corner of Lot 14 of Canaan Height Subdivision; thence proceed South 89 Degrees 14 Minutes 41 Seconds West a distance of 1037.60 feet to the PONT OF TRUE BEGINING.

Said tract of land contains 15.23 acres more or less.

EXHIBIT "B"**EXCEPTIONS**

1. All taxes for the year 2025 and subsequent years, not yet due and payable.
2. Drainage rights as contained in that certain Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, filed for record October 5, 1977 at 11:50 a.m., recorded in Deed Book 8-K, Page 21, Records of Paulding County, Georgia.
3. Drainage rights as contained in that certain Right of Way Deed from B. Russell Paris, Cathie T. Serrano, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records.
4. Right of Way Easement from Terry E. Tibbetts and Susan B. Tibbetts to Greystone Power Corporation, an electric membership corporation, dated April 6, 1996, filed for record March 17, 1997 at 12:25 p.m., recorded in Deed Book 576, Page 47, aforesaid Records.
5. Those matters as disclosed by that certain survey entitled "ALTA/NSPS Land Title Survey To TRG Paris Road, LLC, a Georgia limited liability company; Calloway Title and Escrow, LLC & First American Title Insurance Company", prepared by Technical Survey Services, Inc., bearing the seal and certification of Aubrey J. Akin, Georgia Registered Land Surveyor No. 3138, dated September 17, 2024, last revised December 4, 2024, being designated as Job No. 2024-1126, as follows:
 - (1) Power line crossing the easterly boundary line of subject property;
 - (2) Creek crossing the easterly, southerly and westerly boundary lines of subject property and traversing the southerly portion of subject property;
 - (3) Utility line crossing the easterly boundary line of subject property; and
 - (4) Fences crossing the northerly, westerly and southern boundary lines of subject property.

DATE: 12/19/2024

TIME: 10:37 AM

DEED BOOK: 5181

PAGE: 592 - 595

FILING FEES: \$25.00

TRANSFER TAX: \$417.60

PARTICIPANT ID: 6405611605

PT61: 1102024007628

RECORDED BY: LJ

CLERK: Sheila Butler
Paulding County, GA

AFTER RECORDING RETURN TO:

Ron Ben-Moshe, Esq.

McClure & Kornheiser, LLC

6400 Powers Ferry Road, NW, Suite 150

Atlanta, Georgia 30339

Tax Parcel No.: 148220190000

Paulding County, Georgia

After recording return to:

Calloway Title and Escrow, LLC

2100 Riveredge Parkway, Suite 1025

Atlanta, GA 30328

2-43692

LIMITED WARRANTY DEED

THIS INDENTURE, dated and effective as of December 18, 2024, between **CATHIE T. SERRANO AKA CATHIE T. RINER**, ("Grantor") and **TRG PARIS ROAD, LLC**, a Georgia limited liability company ("Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits;

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee, all that tract or parcel of land lying and being in Paulding County, Georgia, the same being more particularly described on Exhibit "A" attached hereto and by reference made a part hereof, TOGETHER WITH all and singular Grantor's right, title and interest in and to the rights, members and appurtenances thereto, to the same being, belonging, or in anywise appertaining (hereinafter collectively referred to as the "Premises"), SUBJECT TO and only to the matters set forth on Exhibit "B" attached hereto and by reference made a part hereof (hereinafter collectively referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE.

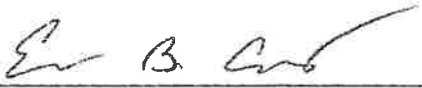
AND GRANTOR will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

[signature page follows]

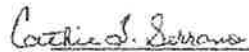
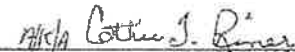
IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

GRANTOR:

Signed, sealed and delivered in
the presence of:



Unofficial Witness

  [SEAL]
CATHIE T. SERRANO AKA CATHIE T. RINER



Notary Public

My commission expires: 10-20-2024
[NOTARIAL SEAL]



EXHIBIT "A"
LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 456 of the 2nd District and 3rd Section of Paulding County, Georgia as shown on plat of survey for Mark and Cathie Serrano, dated 1/29/01, prepared by Ronnie L. Ray, RLS No. 1781, more fully and particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, start at the intersection of the South right-of-way of Cathie Drive and the West right-of-way of Paris Road; thence in a Westerly direction along the South right-of-way of Cathie Drive for a distance of 450.06 feet to an iron pin; thence South 01 degree, 23 minutes, 57 seconds West for a distance of 198.80 feet to an iron pin and the TRUE POINT OF BEGINNING; thence South 88 degrees, 57 minutes, 31 seconds West for a distance of 756.23 feet to an iron pin located on the West land lot line of Land Lot 456; thence South 00 degrees, 40 minutes, 48 seconds East along said land lot line for a distance of 314.06 feet to an iron pin; thence North 88 degrees, 58 minutes, 08 seconds East for a distance of 794.43 feet to an iron pin; thence North 01 degree, 28 minutes, 53 seconds East for a distance of 315.03 feet to an iron pin; thence North 01 degree, 23 minutes, 57 seconds East for a distance of 198.18 feet to an iron pin located on the South right-of-way of Cathie Drive; thence South 89 degrees, 03 minutes, 43 seconds West along said right-of-way for a distance of 50.06 feet to an iron pin; thence South 01 degree, 23 minutes, 57 seconds West for a distance of 198.80 feet to an iron pin and the TRUE POINT OF BEGINNING. The above-referenced plat of survey is incorporated herein by reference made thereto; subject property is shown on said plat of survey as 6.00 acres.

EXHIBIT "B"**EXCEPTIONS**

1. All taxes for the year 2025 and subsequent years, not yet due and payable.
2. Drainage rights as contained in that certain Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, filed for record October 5, 1977 at 11:50 a.m., recorded in Deed Book 8-K, Page 21, Records of Paulding County, Georgia.
3. Drainage rights as contained in that certain Right of Way Deed from B. Russell Paris, Cathie T. Serrano, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records.
4. Right of Way Easement from Terry E. Tibbetts and Susan B. Tibbetts to Greystone Power Corporation, an electric membership corporation, dated April 6, 1996, filed for record March 17, 1997 at 12:25 p.m., recorded in Deed Book 576, Page 47, aforesaid Records.
5. Those matters as disclosed by that certain survey entitled "ALTA/NSPS Land Title Survey To TRG Paris Road, LLC, a Georgia limited liability company; Calloway Title and Escrow, LLC & First American Title Insurance Company", prepared by Technical Survey Services, Inc., bearing the seal and certification of Aubrey J. Akin, Georgia Registered Land Surveyor No. 3138, dated September 17, 2024, last revised December 4, 2024, being designated as Job No. 2024-1126, as follows:
 - (1) Power line crossing the easterly boundary line of subject property;
 - (2) Creek crossing the easterly, southerly and westerly boundary lines of subject property and traversing the southerly portion of subject property;
 - (3) Utility line crossing the easterly boundary line of subject property; and
 - (4) Fences crossing the northerly, westerly and southern boundary lines of subject property.

DATE: 12/19/2024

TIME: 10:37 AM

DEED BOOK: 5181

PAGE: 596 - 599

FILING FEES: \$25.00

TRANSFER TAX: \$214.80

PARTICIPANT ID: 6405611605

PT61: 1102024007629

RECORDED BY: LJ

CLERK: Sheila Butler

Paulding County, GA

AFTER RECORDING RETURN TO:

Ron Ben-Moshe, Esq.

McClure & Kornheiser, LLC

6400 Powers Ferry Road, NW, Suite 150

Atlanta, Georgia 30339

Tax Parcel No.: 148230060000

Paulding County, Georgia

After recording return to:

Calloway Title and Escrow, LLC

2100 Riveredge Parkway, Suite 1025

Atlanta, GA 30328

2-43692

LIMITED WARRANTY DEED

THIS INDENTURE, dated and effective as of December 18, 2024, between **CATHIE T. SERRANO AKA CATHIE T. RINER** ("Grantor") and **TRG PARIS ROAD, LLC**, a Georgia limited liability company ("Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits;

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee, all that tract or parcel of land lying and being in Paulding County, Georgia, the same being more particularly described on Exhibit "A" attached hereto and by reference made a part hereof, TOGETHER WITH all and singular Grantor's right, title and interest in and to the rights, members and appurtenances thereto, to the same being, belonging, or in anywise appertaining (hereinafter collectively referred to as the "Premises"), SUBJECT TO and only to the matters set forth on Exhibit "B" attached hereto and by reference made a part hereof (hereinafter collectively referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE.

AND GRANTOR will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

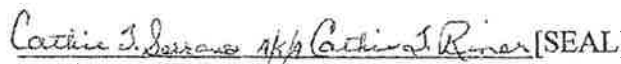
[signature page follows]

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 [SEAL]
CATHIE T. SERRANO AKA CATHIE T. RINER

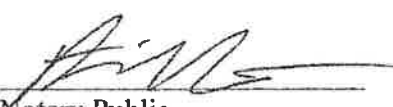

Notary Public
My commission expires: 10-20-2026
[NOTARIAL SEAL]



EXHIBIT "A"
LEGAL DESCRIPTION

ALL THAT TRACT or parcel of land lying and being in Land Lot 481 of the 2nd District, 3rd Section of Paulding County, Georgia, being Tract One, as more particularly depicted on a plat recorded in Plat Book 45, Page 184, Records of Paulding County, Georgia, which plat is incorporated herein by reference hereto.

EXHIBIT "B"**EXCEPTIONS**

1. All taxes for the year 2025 and subsequent years, not yet due and payable.
2. Drainage rights as contained in that certain Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, filed for record October 5, 1977 at 11:50 a.m., recorded in Deed Book 8-K, Page 21, Records of Paulding County, Georgia.
3. Drainage rights as contained in that certain Right of Way Deed from B. Russell Paris, Cathie T. Serrano, et al to Paulding County, a political subdivision of the State of Georgia, dated November 30, 1989, filed for record January 4, 1990 at 3:46 p.m., recorded in Deed Book 183, Page 638, aforesaid Records.
4. Right of Way Easement from Terry E. Tibbetts and Susan B. Tibbetts to Greystone Power Corporation, an electric membership corporation, dated April 6, 1996, filed for record March 17, 1997 at 12:25 p.m., recorded in Deed Book 576, Page 47, aforesaid Records.
5. Those matters as disclosed by that certain survey entitled "ALTA/NSPS Land Title Survey To TRG Paris Road, LLC, a Georgia limited liability company; Calloway Title and Escrow, LLC & First American Title Insurance Company", prepared by Technical Survey Services, Inc., bearing the seal and certification of Aubrey J. Akin, Georgia Registered Land Surveyor No. 3138, dated September 17, 2024, last revised December 4, 2024, being designated as Job No. 2024-1126, as follows:
 - (1) Power line crossing the easterly boundary line of subject property;
 - (2) Creek crossing the easterly, southerly and westerly boundary lines of subject property and traversing the southerly portion of subject property;
 - (3) Utility line crossing the easterly boundary line of subject property; and
 - (4) Fences crossing the northerly, westerly and southern boundary lines of subject property.

DATE: 12/19/2024

TIME: 10:37 AM

DEED BOOK: 5181

PAGE: 600 - 603

FILING FEES: \$25.00

TRANSFER TAX: \$560.90

PARTICIPANT ID: 6405611605

PT61: 1102024007630

RECORDED BY: LJ

CLERK: Sheila Butler

Paulding County, GA

AFTER RECORDING RETURN TO:

Ron Ben-Moshe, Esq.
McClure & Kornheiser, LLC
6400 Powers Ferry Road, NW, Suite 150
Atlanta, Georgia 30339

Tax Parcel No.: 147110200000
Paulding County, Georgia

After recording return to:

Calloway Title and Escrow, LLC
2100 Riveredge Parkway, Suite 1025
Atlanta, GA 30328

2-43642

LIMITED WARRANTY DEED

THIS INDENTURE, dated and effective as of December ~~18~~, 2024, between **CATHIE T. SERRANO AKA CATHIE T. RINER** ("Grantor") and **TRG PARIS ROAD, LLC**, a Georgia limited liability company ("Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits;

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee, all that tract or parcel of land lying and being in Paulding County, Georgia, the same being more particularly described on Exhibit "A" attached hereto and by reference made a part hereof, TOGETHER WITH all and singular Grantor's right, title and interest in and to the rights, members and appurtenances thereto, to the same being, belonging, or in anywise appertaining (hereinafter collectively referred to as the "Premises"), SUBJECT TO and only to the matters set forth on Exhibit "B" attached hereto and by reference made a part hereof (hereinafter collectively referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE.

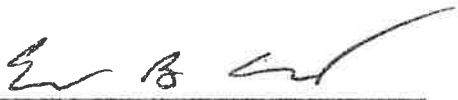
AND GRANTOR will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

[signature page follows]

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

GRANTOR:

Signed, sealed and delivered in
the presence of:


Unofficial Witness

 11/1/2 Cathie T. Riner [SEAL]
CATHIE T. SERRANO AKA CATHIE T. RINER


Notary Public
My commission expires: 10-20-2029
[NOTARIAL SEAL]



EXHIBIT "A"
LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 456 OF THE 2ND DISTRICT, 3RD SECTION OF PAULDING COUNTY, GEORGIA AND BEING LOT 13 OF CANAAN HEIGHTS SUBDIVISION, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

TO REACH THE POINT OF BEGINNING START AT AN IRON PIN FOUND (½" REBAR) AT THE INTERSECTION OF THE SOUTH LAND LOT LINE OF LAND LOT 456 AND THE WESTERLY RIGHT-OF-WAY OF PARIS ROAD (60' RIGHT-OF-WAY); THENCE ALONG THE WESTERLY RIGHT-OF-WAY OF PARIS ROAD NORTH 01 DEGREE 41 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 100.00 FEET TO AN IRON PIN SET (½" REBAR), BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY NORTH 01 DEGREE 51 MINUTES 32 SECONDS WEST FOR A DISTANCE OF 99.84 FEET TO AN IRON PIN SET (½" REBAR); THENCE LEAVING SAID RIGHT-OF-WAY PROCEED NORTH 88 DEGREES 11 MINUTES 24 SECONDS WEST FOR A DISTANCE OF 195.48 FEET TO AN IRON PIN FOUND (3/8" REBAR); THENCE SOUTH 00 DEGREES 30 MINUTES 24 SECONDS EAST FOR A DISTANCE OF 98.91 FEET TO AN IRON PIN FOUND (½" OPEN TOP PIPE); THENCE SOUTH 87 DEGREES 57 MINUTES 23 SECONDS EAST FOR A DISTANCE OF 197.87 FEET TO AN IRON PIN SET (½" REBAR) AND THE TRUE POINT OF BEGINNING.

EXHIBIT "B"**EXCEPTIONS**

1. All taxes for the year 2025 and subsequent years, not yet due and payable.
2. Drainage rights as contained in that certain Right of Way Deed from C. F. Wilbanks, L. H. Echols, et al and Paulding County, a political subdivision of the State of Georgia, filed for record October 5, 1977 at 11:50 a.m., recorded in Deed Book 8-K, Page 21, Records of Paulding County, Georgia.
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 - (3) Utility line crossing the easterly boundary line of subject property; and
 - (4) Fences crossing the northerly, westerly and southern boundary lines of subject property.

**CITY OF DALLAS
LEGAL NOTICE
DEVELOPMENT STANDARDS VARIANCE**

TRG Paris Rd., LLC (Applicant/Titleholder), has applied and seeks Development Standards Variance(s) for property legally known by Tax Parcel ID No.(s) ***148.2.2.019.000;*** ***148.2.2.030.0000; 148.2.2.035.0000; 147.1.1.023.0000; 147.1.1.017.0000*** located in Land Lot(s) ***409; 456; 481*** in the ***2nd*** District and ***3rd*** Section of Paulding County, located at ***270 & 458 Paris Road, Dallas, GA 30132.***

The public hearing for the Zoning Board of Appeals will be held on ***Thursday, August 28, 2025*** at ***6:00pm.*** The public hearing will be conducted in the Council Chambers of the City of Dallas, City Hall, at 129 East Memorial Drive, Dallas, GA 30132.

Per O.C.G.A 36-67A-3; Opponents to the above actions are required to submit a disclosure report five days before the first public hearing. For questions or concerns, contact the Community Development Department at 770.443.8110 x 1401

This the 1st day of August, 2025.

TRG Paris Rd., LLC (Applicant/Titleholder)



RESIDENTIAL GROUP

City of Dallas
Zoning Board of Appeals
129 E. Memorial Dr
Dallas, GA 30132

DATE: June 23, 2025

**RE: Letter of Intent
Height & Length Variance**

To Whom it May Concern:

TRG Crest Paris Rd, LLC has purchased 34.9 acres near the intersection of Paris Rd and Hwy 278 to develop a new multi-family community. Our proposed variance will increase the building height and building length requirement listed in UDC for the MF-1 zoning category. Architectural plans are provided showing which buildings these amendments would affect.

The proposed development will be a market rate, multi-family project with rents ranging from \$1,350 to \$2,400 per month. It will be constructed in a 3 & 4 story configuration, containing approx. 7% studio units, 30% one-bedroom units, 58% two-bedroom units and 6% three-bedroom units. The community will have a resort style pool, outdoor grilling areas, a village green and controlled access. Unit finishes include solid surface countertops, upgraded cabinetry, designer fixtures and plank flooring. The development's green features include LED lighting, low flow fixtures, electric vehicle charging stations, locally sourced materials, low VOC products among others.

The underlying zoning for the project is MF-1, which includes a maximum building height of 45' and a maximum building length of 192'. Both features relate to the overall scale and feel of the community.

- Section 7.10 Table 4.4 states *Maximum Building Height – Principal 45 ft* – Response: As indicated in the building plans provided, the backside of the structures facing either the woods or the village green, are four stories with an average height of 58'. The front side of the buildings facing the parking areas are three stories with an average height of 46'. We keep the three story elevations adjacent to the parking area to make the heights more human scale and acceptable. The four story sides are placed in areas with a large green space or open area to lessen the feeling of height. By increasing the heights of the buildings, we minimize our developable footprint along with the site impact and increase our greenspace.
- Section 7.17 e states *The maximum length of a multi-family building shall not exceed one-hundred ninety-two (192) feet. No more than eight (8) townhome units shall be attached in a single row.* Response: As indicated in the building plans provided, we feel comfortable requesting an increase in this length due to the variation of the building façade. In no instance is our buildings over 35' without the front elevation varying from 5' to 12'. This variation gives the buildings a livable feel and does not overwhelm the residents. By increasing the lengths of the buildings, we minimize our developable footprint along with the site impact and increase our greenspace.
- Additional Comments: These buildings have been used to create livable communities through out Georgia and the Southeast. They are purposefully designed to work with the existing

topography and provide a good balance between indoor and outdoor space. They do not overwhelm but do provide a sense of home while creating a community for the residents to engage in the common areas and enjoy the higher end finishes. If you have any additional questions or wish to see these buildings in use, please let us know and we would be happy to discuss further or arrange a tour of any of our facilities.

The reason for these variances is we are comfortable with increasing both components and can still provide a product that feels luxurious while not overwhelming the residents. In addition, by approving these requests, we can decrease our area of impact by keeping more of the natural woods and increasing our usable green space within the project.

Thank you for the opportunity to be considered to become a part of your community. Please let us know if we can answer any questions or provide additional information.

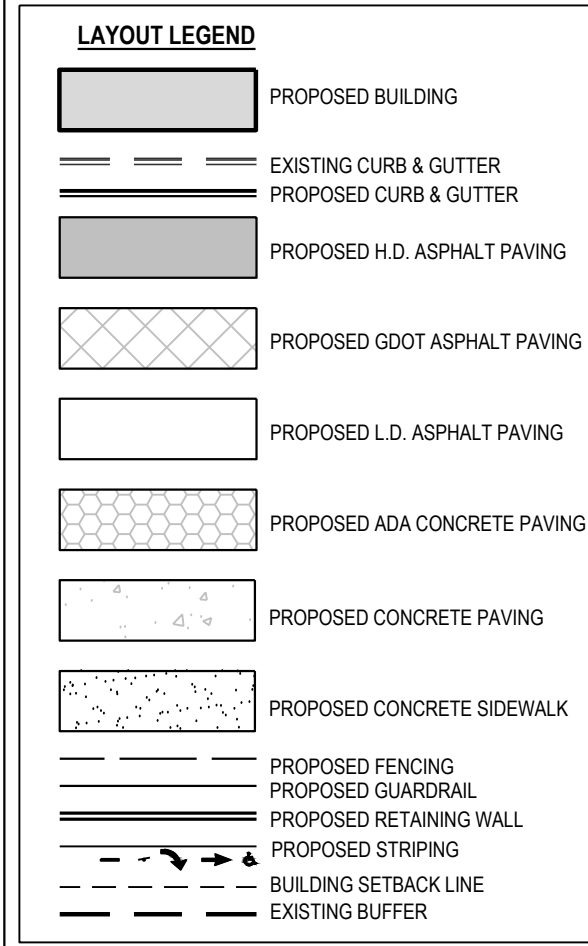
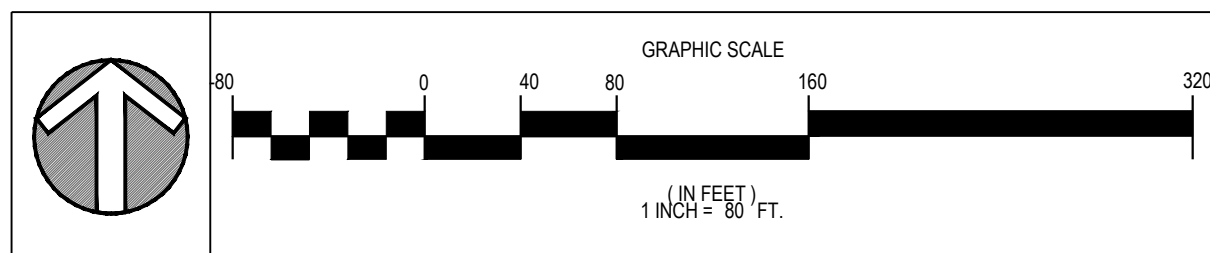
Sincerely,

The Residential Group, LLC

A handwritten signature in black ink, appearing to read 'K. Alexander', written over a horizontal line.

Kurt R. Alexander
Principal

cc: File



PARKING DATA		
REQUIRED PARKING: MULTI-FAMILY		
MINIMUM SPACES		
1BEDROOMS:	1.0 SPACE PER UNIT, PLUS 1 PER 3 UNITS	
	$1.0 \times 117 + 1(\frac{17}{3}) = 156$ SPACES REQ.	
2BEDROOMS:	1.6 SPACES PER UNIT, PLUS 1 PER 3 UNITS	
	$1.6 \times 186 + 1(\frac{18}{3}) = 359.60 = 360$ SPACES REQ.	
3BEDROOMS:	1.8 SPACES PER UNIT, PLUS 1 PER 3 UNITS	
	$1.8 \times 19 + 1(\frac{19}{3}) = 40.53 = 41$ SPACES REQ.	
MAXIMUM SPACES		
MIN SPACES + 10%		
$557 + 0.10 \times 557 = 612.70 = 613$ SPACES ALLOW		
TOTAL MIN SPACES REQ.:		557 SPACES MIN
TOTAL MAX ALLOW:		613 SPACES MAX
REQUIRED ELECTRIC VEHICLE:		
1 CHARGING STATION PER 50 PARKING SPACES		
TOTAL REQUIRED: 522/50	11	SPACES MIN
PARKING PROVIDED		
REGULAR SURFACE SPACES:	448	SPACES
GARAGE SPACES:	42	SPACES
EV SPACES:	14	SPACES
REGULAR ADA SPACES:	09	SPACES
VAN ADA SPACES:	09	SPACES
TOTAL PARKING PROVIDED:	522	SPACES

SITE PLAN		1" = 80'
		11/12/2024
		CHUNG Q. LE
		CHUNG Q. LE
		MIKE WRIGHT
SCALE	DATE	
DRAWN BY:		
PROJECT ENGINEER:		
QA/QC REVIEWER:		

SHEET NUMBER:

C3.0
NOT ISSUED FOR
CONSTRUCTION

[illegible]

EBERLY PROJECT NUMBER:

24-191

SHEET NUMBER:

C3.0
NOT ISSUED FOR
CONSTRUCTION

REVISION		
ID	DATE	DESCRIPTION
	01/22/2025	SD SET
	02/21/25	30% SET
	03/21/25	60% SET
	04/24/25	90% SET
	05/23/25	90% REVISED SET

CLIENT:  TRG - THE RESIDENTIAL GROUP

PROJECT:

**CREST AT PARIS
RD.**

458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:
24041_TRG_DALLAS_GA

PROJECT TEAM:	PROJECT LEAD:
JCA, TS, MH	JM, SH

DRAWING TITLE:

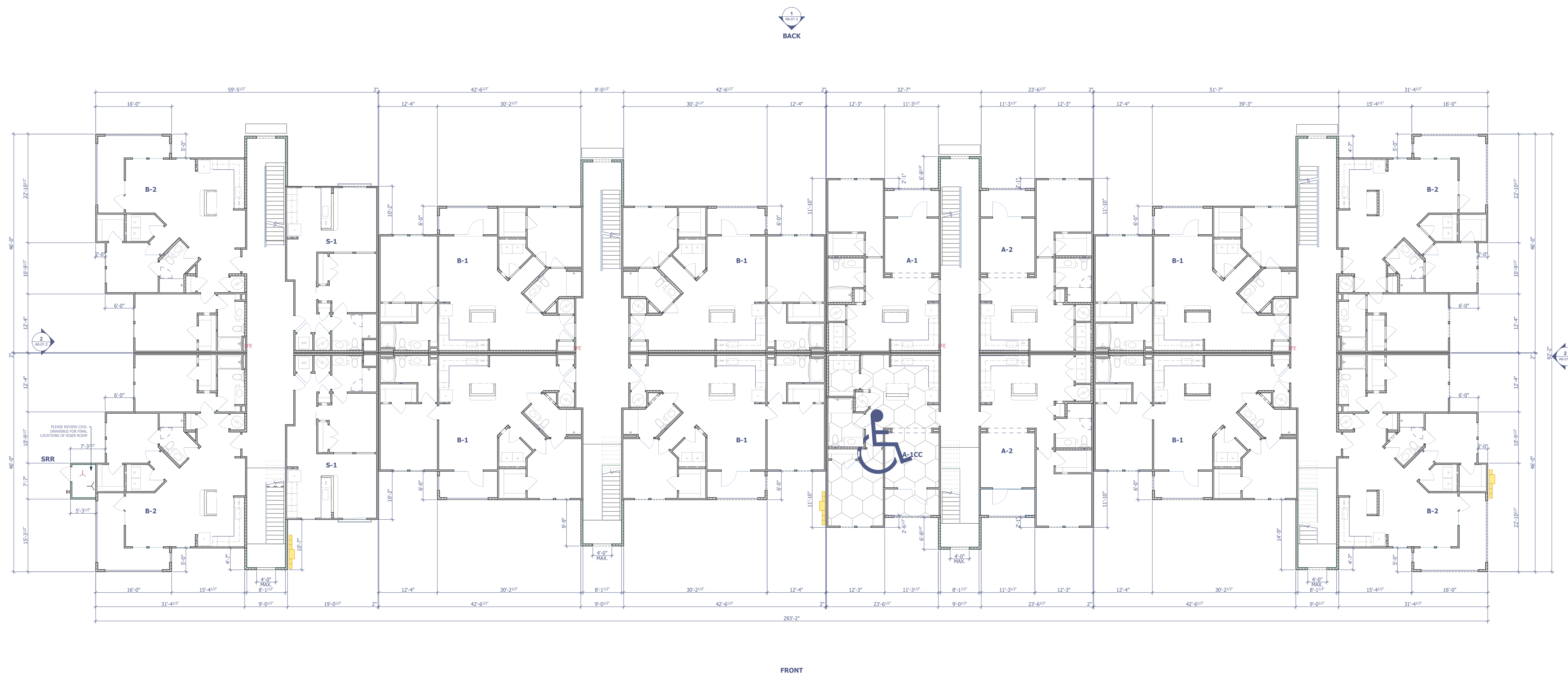
BUILDING TYPE
I A - FLOOR
PLAN LEVEL 1

DRAWING NUMBER: _____

A1-10.3

NOT ISSUED FOR CONSTRUCTION

(Drawings intended to be viewed in color)



BLDG TYPE IA - BUILDING FLOOR PLAN
BLDG 1000 & 3000 LEVEL 1

$$3/32'' = 1'-0''$$



GEHEBER
LEWIS
ARCHITECTS

GLAATL.COM

1325 LOGAN CIRCLE | PHONE: 404.228.1958
ATLANTA, GA 30318 | FAX: 404.228.8330

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CLIENT:
RESIDENTIAL
GROUP

TRG - THE
RESIDENTIAL
GROUP

PROJECT:

CREST AT PARIS
RD.

458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:

24041_TRG_DALLAS_GA

PROJECT TEAM:

JCA, TS, MH

PROJECT LEAD:

JM, SH

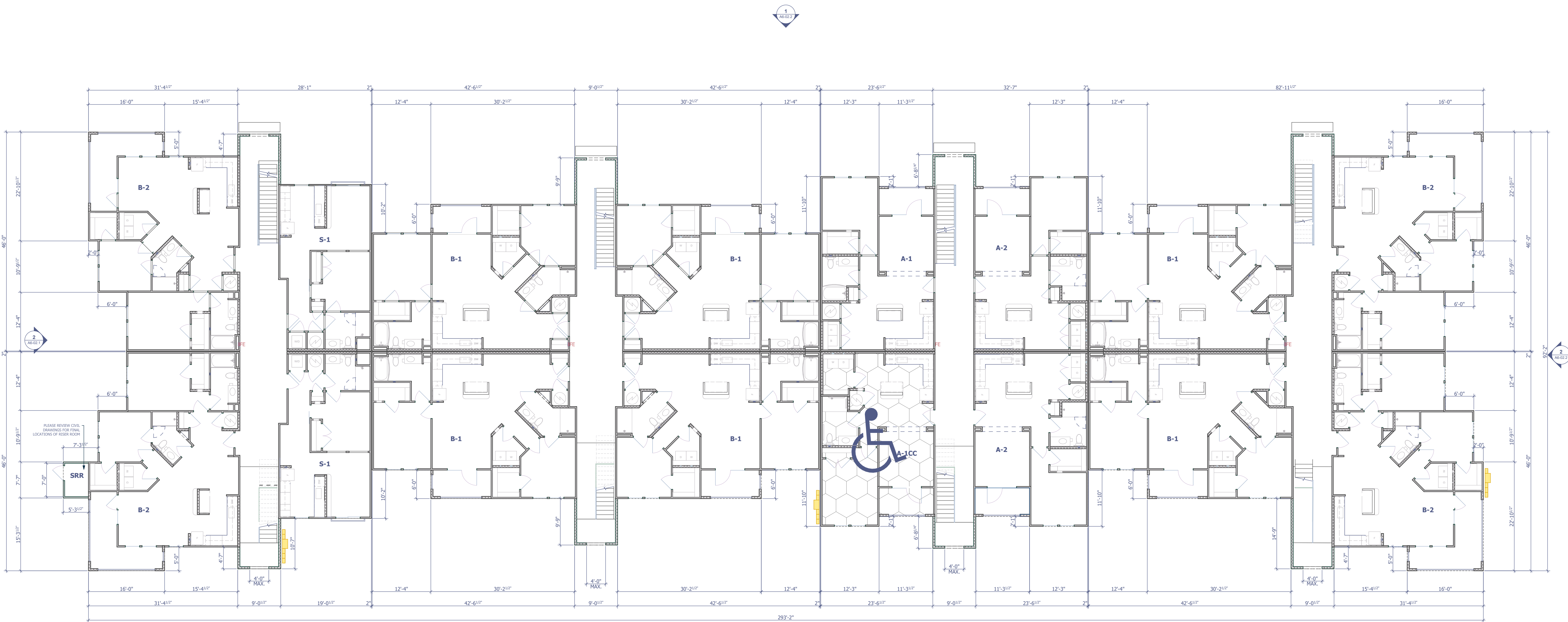
DRAWING TITLE:

BUILDING TYPE
I B - FLOOR
PLAN LEVEL 1

DRAWING NUMBER:

A1-11.3

NOT ISSUED FOR CONSTRUCTION



BLDG TYPE IB - BUILDING FLOOR PLAN
BLDG 4000 LEVEL 1

1

A1-11.3

3/32" = 1'-0"



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LEWIS
ARCHITECTS

GLAATL.COM

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ATLANTA, GA 30318

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GROUP
TRG - THE
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PROJECT:

CREST AT PARIS
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458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:

24041_TRG_DALLAS_GA

PROJECT TEAM:

JCA, TS, MH JM, SH

PROJECT LEAD:

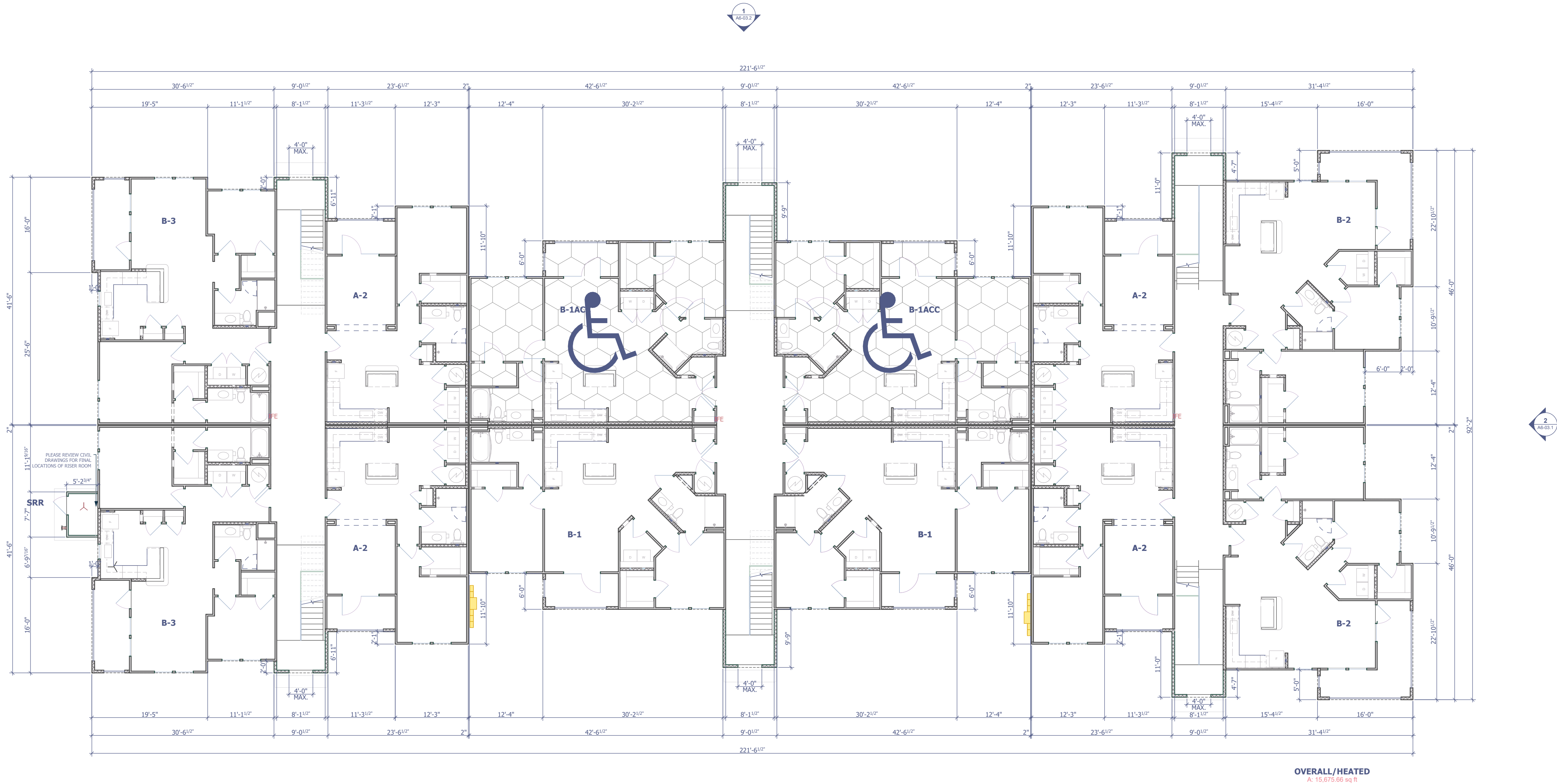
DRAWING TITLE:

BUILDING TYPE
II - FLOOR PLAN
LEVEL 1

DRAWING NUMBER:

A1-12.2

NOT ISSUED FOR CONSTRUCTION



BLDG TYPE II - BUILDING FLOOR PLAN
BLDG 2000 LEVEL 1

1

A1-12.2

3/32" = 1'-0"

Drawings intended to be viewed in color?
Reviewed: Friday, May 23, 2025 2:11 PM



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TRG - THE
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PROJECT:
**CREST AT PARIS
RD.**
458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:
24041_TRG_DALLAS_GA
PROJECT TEAM:
JCA, TS, MH
PROJECT LEAD:
JM, SH
DRAWING TITLE:

**BUILDING TYPE
III - FLOOR
PLAN LEVEL 1**

DRAWING NUMBER:

A1-13.3

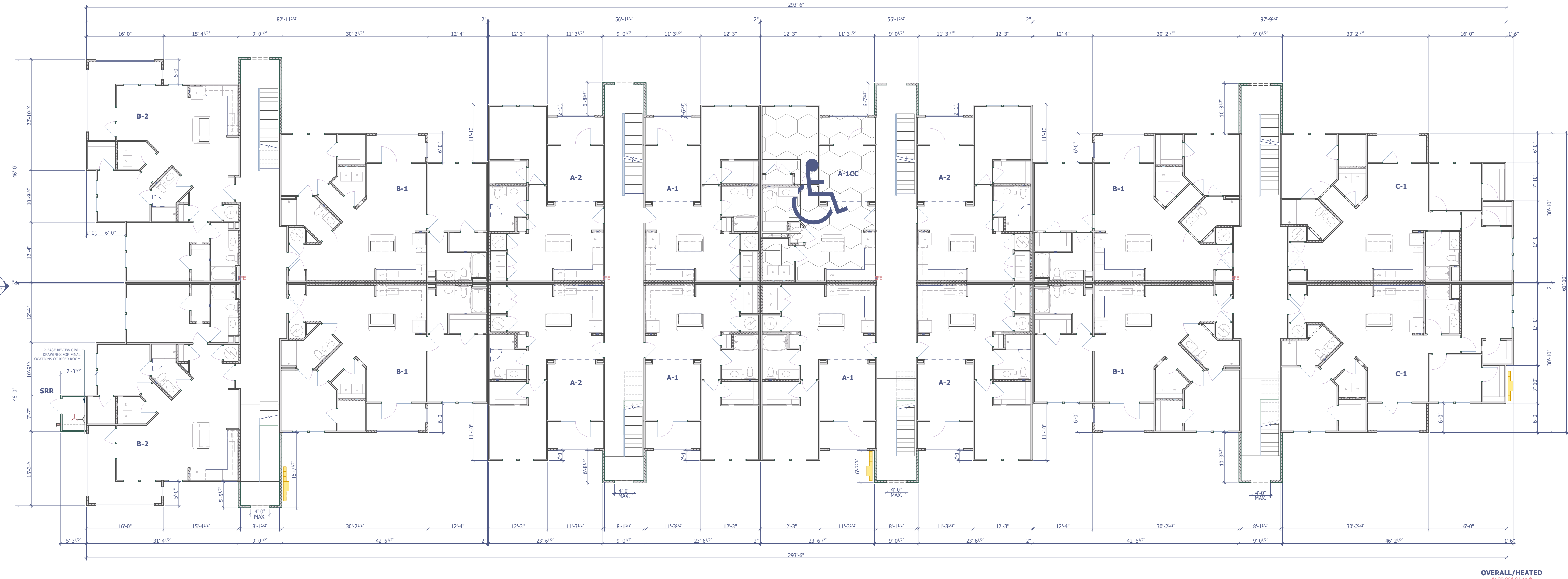
NOT ISSUED FOR CONSTRUCTION

Drawings intended to be viewed in color?
Reviewed: Friday, May 23, 2025 3:11 PM

BACK



FRONT



BLDG TYPE III - BUILDING FLOOR PLAN
BLDG 5000 LEVEL 1

3/32" = 1'-0"

1

A1-13.3



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ARCHITECTS

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ATLANTA, GA 30318 | FAX: 404.228.8330

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CLIENT:
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GROUP
TRG - THE
RESIDENTIAL
GROUP

PROJECT:

CREST AT PARIS
RD.
458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:

24041_TRG_DALLAS_GA

PROJECT TEAM:

JCA, TS, MH

PROJECT LEAD:

JM, SH

DRAWING TITLE:

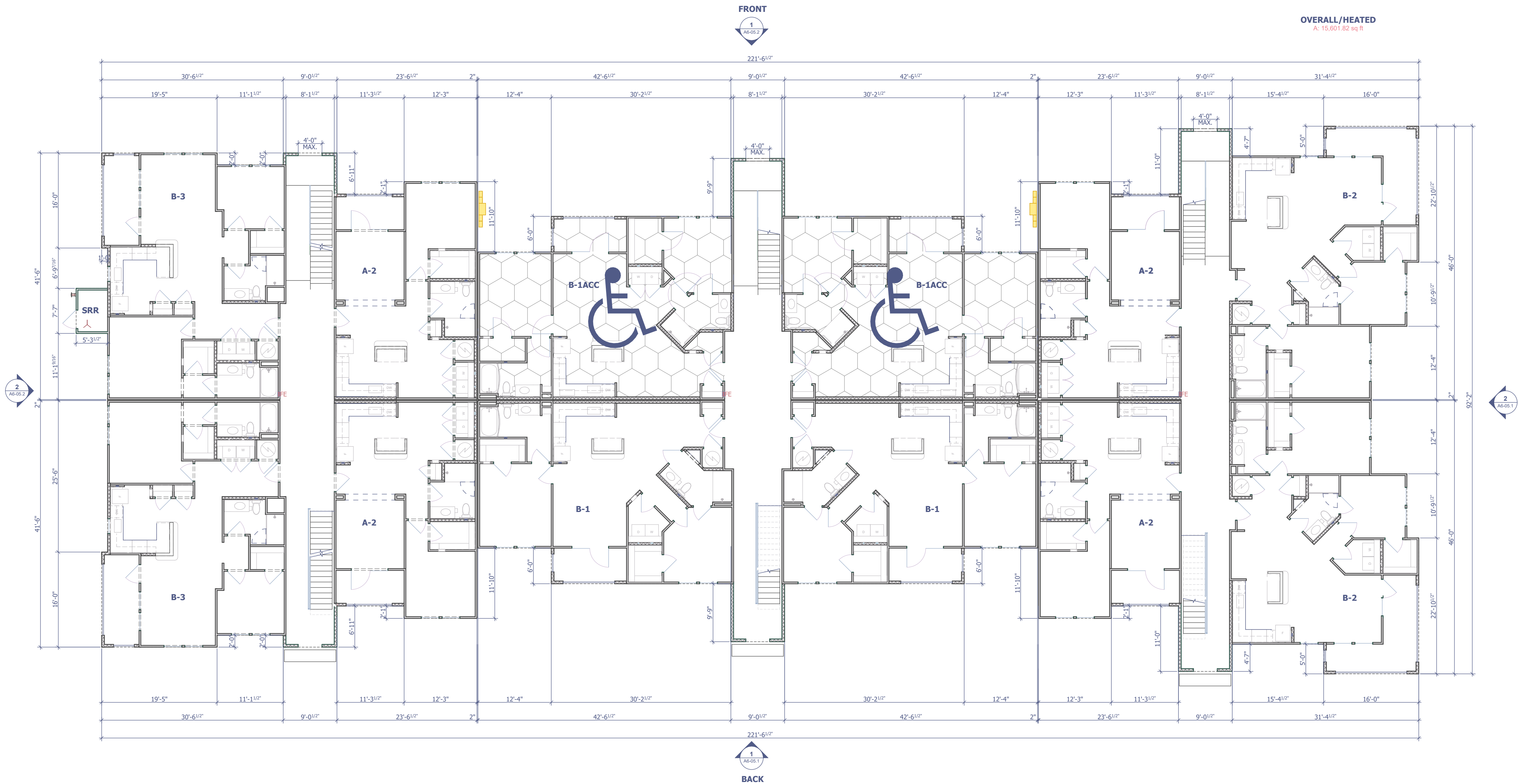
BUILDING TYPE
IV - FLOOR PLAN
LEVEL 1

DRAWING NUMBER:

A1-14.3

NOT ISSUED FOR CONSTRUCTION

Drawings intended to be viewed in color?
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BLDG TYPE IV - BUILDING FLOOR PLAN
BLDG 6000 LEVEL 1

3/32" = 1'-0"

2

A1-14.3

REVISION

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GROUP
TRG - THE
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PROJECT:

CREST AT PARIS
RD.

458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:
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PROJECT TEAM:
JCA, TS, MH
PROJECT LEAD:
JM, SH
DRAWING TITLE:

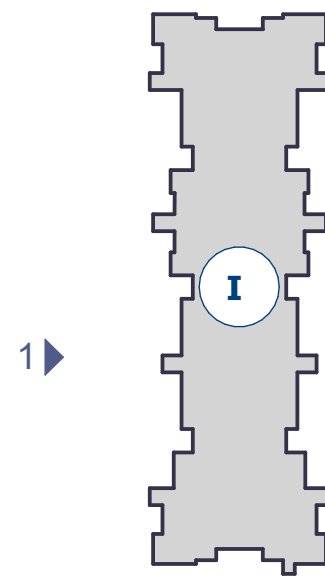
BUILDING TYPE
IA - ELEVATIONS

DRAWING NUMBER:

A6-01.2

NOT ISSUED FOR CONSTRUCTION

KEY PLAN



ELEVATION NOTES

GENERAL NOTE

ELEVATION KEYNOTES

1	FIBER CEMENT BOARD LAP SIDING - 6" EXPOSURE	10	VINYL WINDOWS W/ BRICK SOLDIER HEAD & BRICK ROWLOCK SILL
2	3 1/2" PANEL & BATTEN, FROM SOG TO TOP OF GEAR DIMS +1' WIDE & HIGH	11	ELECTRICAL METER BANK
3	3'-6" GUARDRAIL	12	EXTERIOR LIGTH - SEE ELECTRICAL
4	PRE-FINISHED ALUMINUM GUTTER	13	BUILDING SIGNAGE - VERIFY SIZE AND LOCATIONS W/ LOCAL JURISDICTION AND OWNER
5	ALUMINUM DOWNSPOUT	14	RETAINING WALL TO BE COORD. W/ CIVIL PLANS
6	BRICK BAND - SOLDIER COURSE	15	BRACKETS
7	BRICK VENEER	16	METAL ROOF
8	FIBER CEMENT SHAKES	17	ASPHALT SHINGLES
9	VINYL WINDOWS W/ 3 1/2" FIBER CEMENT TRIM	18	FDC - FIRE DEPARTMENT CONNECTION

2 BLDG 1000 & 3000 LEFT SIDE ELEVATION

3/32" = 1'-0"



1 BLDG 1000 & 3000 REAR ELEVATION

3/32" = 1'-0"

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TRG - THE
RESIDENTIAL
GROUP

PROJECT:
CREST AT PARIS
RD.
458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:
24041_TRG_DALLAS_GA
PROJECT TEAM:
JCA, TS, MH
PROJECT LEAD:
JM, SH
DRAWING TITLE:

BUILDING TYPE
IB - ELEVATIONS

DRAWING NUMBER:
A6-02.2

NOT ISSUED FOR CONSTRUCTION

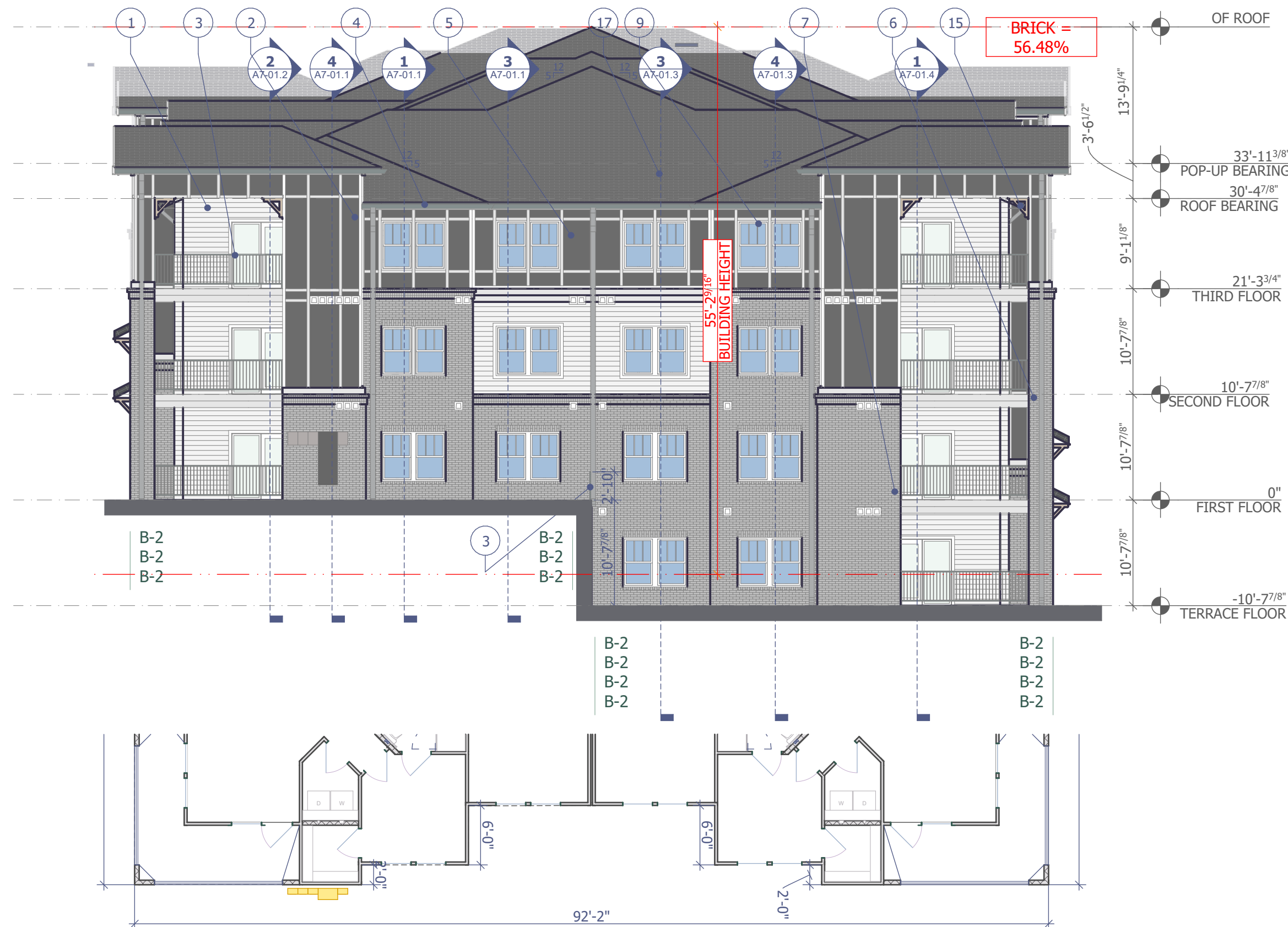
KEY PLAN

ELEVATION NOTES

GENERAL NOTE

ELEVATION KEYNOTES

1 FIBER CEMENT BOARD LAP SIDING - 6" EXPOSURE	10 VINYL WINDOWS W/ BRICK SOLDIER HEAD & BRICK ROWLOCK SILL
2 3 1/2" PANEL & BATTEN, FROM SOG TO TOP OF GEAR DIMS +1' WIDE & HIGH	11 ELECTRICAL METER BANK
3 3'-6" GUARDRAIL	12 EXTERIOR LIGTH - SEE ELECTRICAL
4 PRE-FINISHED ALUMINUM GUTTER	13 BUILDING SIGNAGE - VERIFY SIZE AND LOCATIONS W/ LOCAL JURISDICTION AND OWNER
5 ALUMINUM DOWNSPOUT	14 RETAINING WALL TO BE COORD. W/ CIVIL PLANS
6 BRICK BAND - SOLDIER COURSE	15 BRACKETS
7 BRICK VENEER	16 METAL ROOF
8 FIBER CEMENT SHAKES	17 ASPHALT SHINGLES
9 VINYL WINDOWS W/ 3 1/2" FIBER CEMENT TRIM	18 FDC - FIRE DEPARTMENT CONNECTION



2 BLDG 4000 RIGHT SIDE ELEVATION
3/32" = 1'-0"



1 BLDG 4000 REAR ELEVATION
3/32" = 1'-0"

REVISION

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	02/21/25	30% SET
	03/21/25	60% SET
	04/24/25	90% SET
	05/23/25	90% REVISED SET

CLIENT:
RESIDENTIAL GROUP
TRG - THE RESIDENTIAL GROUP

PROJECT:

CREST AT PARIS
RD.

458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:
24041_TRG_DALLAS_GA
PROJECT TEAM:
JCA, TS, MH
PROJECT LEAD:
JM, SH
DRAWING TITLE:

BUILDING TYPE
II - ELEVATIONS

DRAWING NUMBER:

A6-03.2

NOT ISSUED FOR CONSTRUCTION

Drawings intended to be viewed in color?
Reviewed: Friday, May 23, 2025 2:11 PM



2 BLDG 2000 LEFT SIDE ELEVATION

3/32" = 1'-0"



1 BLDG 2000 REAR ELEVATION

3/32" = 1'-0"

KEY PLAN	ELEVATION NOTES
	GENERAL NOTE
ELEVATION KEYNOTES	
1 FIBER CEMENT BOARD LAP SIDING - 6" EXPOSURE	10 VINYL WINDOWS W/ BRICK SOLDIER HEAD & BRICK ROWLOCK SILL
2 3 1/2" PANEL & BATTEN, FROM SOG TO TOP OF GEAR DIMS +1' WIDE & HIGH	11 ELECTRICAL METER BANK
3 3'-6" GUARDRAIL	12 EXTERIOR LIGTH - SEE ELECTRICAL
4 PRE-FINISHED ALUMINUM GUTTER	13 BUILDING SIGNAGE - VERIFY SIZE AND LOCATIONS W/ LOCAL JURISDICTION AND OWNER
5 ALUMINUM DOWNSPOUT	14 RETAINING WALL TO BE COORD. W/ CIVIL PLANS
6 BRICK BAND - SOLDIER COURSE	15 BRACKETS
7 BRICK VENEER	16 METAL ROOF
8 FIBER CEMENT SHAKES	17 ASPHALT SHINGLES
9 VINYL WINDOWS W/ 3 1/2" FIBER CEMENT TRIM	18 FDC - FIRE DEPARTMENT CONNECTION



2 BLDG 5000 LEFT SIDE ELEVATION
3/32" = 1'-0"



1 BLDG 5000 REAR ELEVATION
3/32" = 1'-0"

KEY PLAN

ELEVATION NOTES

GENERAL NOTE

ELEVATION KEYNOTES

1 FIBER CEMENT BOARD LAP SIDING - 6" EXPOSURE	10 VINYL WINDOWS W/ BRICK SOLDIER HEAD & BRICK ROWLOCK SILL
2 3 1/2" PANEL & BATTEN, FROM SOG TO TOP OF GEAR DIMS +1' WIDE & HIGH	11 ELECTRICAL METER BANK
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8 FIBER CEMENT SHAKES	17 ASPHALT SHINGLES
9 VINYL WINDOWS W/ 3 1/2" FIBER CEMENT TRIM	18 FDC - FIRE DEPARTMENT CONNECTION

gla

GEHEBER LEWIS ARCHITECTS

GLAATL.COM

1325 LOGAN CIRCLE ATLANTA, GA 30318 | PHONE: 404.228.1958 | FAX: 404.228.8350

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STAMP:

REVISION		
ID	DATE	DESCRIPTION
	01/22/2025	SD SET
	02/21/25	30% SET
	03/21/25	60% SET
	04/24/25	90% SET
	05/23/25	90% REVISED SET

CLIENT:

RESIDENTIAL GROUP

TRG - THE RESIDENTIAL GROUP

PROJECT:

CREST AT PARIS RD.

458 PARIS RD. LAND LOT 409, 456 & 481 DALLAS GA

PROJECT NUMBER:
24041_TRG_DALLAS_GA
PROJECT TEAM:
JCA, TS, MH
PROJECT LEAD:
JM, SH
DRAWING TITLE:

**BUILDING TYPE
III - ELEVATION**

DRAWING NUMBER:
A6-04.2
NOT ISSUED FOR CONSTRUCTION

Drawings intended to be viewed in color
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REVISION

ID	DATE	DESCRIPTION
	01/22/2025	SD SET
	02/21/25	30% SET
	03/21/25	60% SET
	04/24/25	90% SET
	05/23/25	90% REVISED SET

CLIENT:
RESIDENTIAL
GROUP
TRG - THE
RESIDENTIAL
GROUP

PROJECT:

CREST AT PARIS
RD.

458 PARIS RD. LAND LOT 409, 456 & 481
DALLAS GA

PROJECT NUMBER:
24041_TRG_DALLAS_GA
PROJECT TEAM:
JCA, TS, MH
PROJECT LEAD:
JM, SH
DRAWING TITLE:

BUILDING TYPE
IV - ELEVATIONS

DRAWING NUMBER:

A6-05.1

NOT ISSUED FOR CONSTRUCTION

Drawings intended to be viewed in color
Reviewed: Friday, May 23, 2025 2:11 PM



2 BLDG TYPE IV - 6000 RIGHT SIDE ELEVATION

A6-05.1 3/32" = 1'-0"



1 BLDG TYPE IV - 6000 REAR ELEVATION

A6-05.1 3/32" = 1'-0"

Sec. 7.10 – HEIGHT STANDARDS

1) GENERAL HEIGHT STANDARDS APPLICABLE TO ALL ZONING DISTRICTS:

- a) Height Requirements. The maximum height permitted shall be as described below and in accordance with *Table 4.4: Residential Lot Standards* and *Table 4.5: Non-Residential Lot Standards*, subject to the exceptions listed in this section.
 - i) Measuring Height. In all instances, the height of a structure shall be the vertical height from the average finished grade to the highest point of the roof, parapet, or uppermost part of the building or structure.
- b) Exceptions. No structure may be erected or changed so as to make its height greater than specified in the applicable zoning district, except as noted below.
 - i) General Exceptions.
 - (1) Steeples on religious places of worship;
 - (2) Spires, belfries, and cupolas;
 - (3) Industrial-related storage tanks, mechanical equipment, and smokestacks; and
 - (4) Water towers.
 - ii) Agricultural Structures. All structures in a zoning district where agriculture is allowed that are used in agricultural product storage and/or processing may exceed the permitted height standards for that district and be erected to any height that is necessary for their operation.
 - iii) Wireless Communication Facilities. The height of wireless communication facilities shall be regulated by *Section 7.11 – Wireless Communication Facilities*.
 - iv) Amateur Radio Towers. Amateur radio towers may exceed the permitted height regulations by up to ten (10) feet.
 - v) Noncommercial Wind Energy Conversion Systems. Wind energy conversion systems are exempt up to 120 feet in height. For propeller turbines, the height shall be measured from the rotor blade at its highest point to the top surface of the wind energy conversion system foundation. For vertical axis turbines, the height shall be measured from the highest point of the unit to the top surface of the wind energy conversion system foundation
 - vi) Necessary Appurtenances. The following structural elements may exceed the permitted height standards for the zoning district in which they are located by up to ten (10) feet:
 - (1) Necessary mechanical appurtenances;
 - (2) Water tanks;
 - (3) Chimneys;
 - (4) Fire towers;
 - (5) Stair towers;
 - (6) Elevator bulkheads; and
 - (7) Wind energy conversion systems, rooftop.
- c) Air Space Requirements. Nothing in this Ordinance, including the exceptions listed above shall be interpreted as waiving any height regulations related to air transportation. All applicable Federal Aviation Administration (FAA) and State of Georgia restrictions and regulations, including *Federal Aviation Regulation Part 77* and *Objects Affecting Navigable Airspace (FAR Part 77)* shall apply to all structures.

Sec. 7.17 – MULTI-FAMILY AND TOWNHOME LAYOUT AND SITE PLANNING

- 1) **APPLICABILITY.** All new multi-family developments (apartments, townhomes) of three (3) units or more are subject to the following standards.
- 2) **LAYOUT AND SITE PLANNING.**
 - a) **Topography.** Buildings shall be sited in relation to topography of the site, which minimizes cut and fill and limits maximum on-site slope to ten (10%) percent.
 - b) Attempts shall be made to preserve existing vegetation and natural features.
 - c) **Building Orientation.** Accessory buildings, including residential garages, storage buildings, etc., shall be located behind the primary building. No primary or accessory building shall have service doors, loading doors, or similar service entrances opening toward or oriented to a public or private street.
 - d) Distances between buildings shall be measured by a line perpendicular to the plane of the surface windows or exterior walls. There shall be a minimum of twenty (20) feet between any two (2) buildings in all directions provided that a two (2) hour fire wall is provided on both buildings constructed of brick and mortar, otherwise the buildings shall be thirty (30) feet between any two (2) buildings in all directions.
 - e) The maximum length of a multi-family building shall not exceed one- hundred ninety-two (192) feet. No more than eight (8) townhome units shall be attached in a single row.
 - f) Off-street parking, driveway, drive aisles, carport, garage or service facilities may encroach into the side or rear yard as specified in but shall be no closer than ten (10) feet to any lot line. In no event shall parking be located in required landscaping areas.
 - g) All sides of a building shall display a similar level of architectural features and materials.
- 3) **OPEN SPACE.** Open space shall be required in conformance with *Section 7.13 – Open Space Requirements* and the requirements of the Zoning Ordinance.
- 4) **VEHICULAR AND PEDESTRIAN CIRCULATION.** Create a hierarchy of internal drives.
 - a) Drives shall be a minimum of twenty (20) feet wide. The City may request wider drives if on-street parking is permitted.
 - b) Multi-family developments with one-hundred fifty (150) units or more shall have at least two
 - a) points of ingress/egress.
 - c) The internal “street” system shall connect to surrounding neighborhood and local streets.
 - d) All internal sidewalks shall be a minimum of five (5) feet wide.
 - e) All internal sidewalks shall connect to adjacent residential areas, commercial areas, schools, parks, places of worship, and similar publicly accessible uses.
 - f) **Driveway Depth.** All driveways for individual townhome units are required to be at least 35’ in depth from the edge of pavement of all public or private roadways should sidewalks be present. For developments without sidewalks, a minimum depth of 40’ from the edge of pavement is required.

VARIANCE REQUEST NO. *DSV-2025-01*

DEVELOPMENT STANDARD VARIANCE APPLICATION AND DOCUMENTS:

Attachment A: DSV-2025-01-Official Variance Application
Attachment B: DSV-2025-01-Boundary Survey / Legal Description
Attachment C: DSV-2025-01-Warranty Deed
Attachment D: DSV-2025-01-LEGAL NOTICE
Attachment E: DSV-2025-01-Letter of Intent
Attachment F: DSV-2025-01-Site Plan
Attachment G: DSV-2025-01-Building Elevation Drawings
Attachment H: DSV-2025-01-Unified Development Code; Sec 7.10 & Sec. 7.17
Attachment I: DSV-2025-01-Development Standard Variance – Staff Document

DEVELOPMENT STANDARD VARIANCE REQUEST:

DSV-2025-01:

Property Owner: *TRG Paris Rd., LLC*

Property Owner Addresser: *7100 Peachtree Dunwoody Rd., Atlanta, GA 30328*

Location of Property: *270 & 458 Paris Rd., Dallas, GA 30132*

Tax Parcel ID No.(s): *148.2.2.019.000; 148.2.2.030.0000; 148.2.2.035.0000; 147.1.1.023.0000; 147.1.1.017.0000*

Intended Use of Property: *Multi-family (Apartment Complex)*

Zoning District: *MF-1*

Setbacks & Lot Requirements:

Minimum Lot Size – 1ac.; Minimum Lot Width – 100ft.; Minimum Lot Frontage – 50ft.; Maximum Building Height – (Principal 40ft.) (Accessory – 24ft.); Front Setback – 30ft.; Side Setback – (Principal – 40ft.) Accessory – 10ft.); Rear Setback – (Principal – 40ft.) Accessory – 10ft.); Minimum Distance from Structure on Same Lot – 20ft.; Minimum Ground Floor Area (Per Unit) – (1 Story – 950sf. Average) (2+ Story – 650sf. Average); Total Minimum Living Area (Per Unit) – 950st. Average; Minimum Living Area Façade Width – 24ft.; Maximum Lot Coverage (structures and buildings) – 50%, Acc: 5% or 750sf. (whichever is greater); Maximum Lot Coverage (all impervious surfaces) – 60%

Unified Development Code Chapter(s) & Section(s):

*Chapter VII – Development Standards; Sec. 7.10 – Height Standards; 1) General Height Standards Applicable to all Zoning Districts; a) Height Requirements
Chapter VII – Development Standards; Sec. 7-17 – Multifamily and Townhome Layout and Site Planning; 2) Layout and Site Planning; e)*

Detailed Description of Variance(s) Applied For:

- (1) Request maximum building height of 60ft. Sec. 7.10; 1) a) – states maximum building height shall not exceed 40ft.
- (2) Request maximum building length not to exceed 295ft. Sec 7.17; 2) e) – states maximum building length not to exceed 192ft.

STAFF COMMENTS:

TRG Paris Rd., LLC (Applicant/Titleholder), has applied and seeks Development Standards Variance(s) for property legally known by Tax Parcel ID No.(s) **148.2.2.019.000; 148.2.2.030.0000; 148.2.2.035.0000; 147.1.1.023.0000; 147.1.1.017.0000** located in Land Lot(s) **409; 456; 481** in the **2nd** District and **3rd** Section of Paulding County, located at **270 & 458 Paris Road, Dallas, GA 30132**

*Properties that border the site to the south, and west are within the city limits of Dallas.
Properties that border the site to the north, and east are within unincorporated Paulding County.*

A. Existing land use and zoning classification of nearby property:

ADJACENT ZONING

NORTH: R-2 Paulding County

EAST: R-2 Paulding County

SOUTH: R-2 & C-2 City

WEST: R-3 & I-1 City

ADJACENT DEVELOPMENT

NORTH: Existing Residential Properties

EAST: Existing Residential Properties

SOUTH: Cadillac Pkwy. Industrial Park & Overlook at Palisades Subdivision

WEST: Sandalwood Apartment & White Park Industrial / Commercial Development

B. Variance impact on adjacent properties

- *None – Site plan complies to all setbacks and buffers.*

C. Adverse effect on the usability of adjacent or nearby property

- *None – Site plan complies to all setbacks and buffers.*

D. Proposal cause excessive or burdensome use of streets, transportation facilities, utilities, schools

- *Fascial Impact Analysis- completed by TRG Paris Rd., LLC.*

E. Supported by current conditions

- *Site plan is in compliance with all lot and setback requirements.*
- *Site plan conforms with all development and design requirements.*
- *Public Water supply via Paulding County Water System. Water supply capacity verified.*

- *Public Sanitary Sewer connection via City of Dallas. Sanitary sewer capacity verified, thus requiring off-site system capacity upgrades by developer.*
- *Public Roadway connection via Paris Road.*
- *Other available utility connections: Power – GA Power; Gas – multiple providers; Telecom – multiple providers*

F. 2022 Comprehensive Plan

The 2022-2027 Paulding County Joint Comprehensive Plan shows the property within the Employment Corridor area and Wellness District per the supporting policy map shown on page 88 (MAP2.30). Property is also adjacent to a crossroad area of influence. Property is also shown to be located in City of Dallas Sewer Service Area.

STAFF RECOMMENDATIONS:

Based on the preceding analysis, if the Zoning Board of Appeals votes to recommend approval, staff recommends the following stipulations be applied:

- 1- Proposed multi-family development shall conform with all remaining MF-1 standards found in the city’s unified development code and code of ordinances.

Unless explicitly stated herein, all other lot, development, design, and architectural standards shall comply as written in the City of Dallas Code of Ordinances.

The findings made herein are the opinions of the City of Dallas, Ga Development staff and do not constitute a final decision. The City of Dallas, Ga; Zoning Board of Appeals makes the final decision on all Development Standard Variance Applications.